

LEGEND:

- LIMIT OF WORK BOUNDARY
- EXISTING SURFACE CONTOUR (0.5m INTERVAL)
- C3 ZONE BOUNDARY
- C2 ZONE BOUNDARY
- 1% AEP FLOOD LINE + CLIMATE CHANGE (FPL2) DEC 2025
- EXISTING SEWER RISING MAIN
- COASTAL MANAGEMENT SEPP (R&H) 2021 COASTAL WETLANDS
- COASTAL WETLANDS PROXIMITY AREA
- PMHC 2011 FLOOD MAPPING
- CLEARING BOUNDARY AS APPROVED UNDER DA 2017/394

NOTES:
 REFER TO ENVIRONMENTAL REPORT PREPARED BY ECO-LOGICAL AUSTRALIA - FLORA & FAUNA ASSESSMENT 169B & 201 OCEAN DRIVE KEW FOR DETAILS

0 20 40 80 120
 Full Size A1 1:2000 : Half Reduction A3 1:4000
 SCALE (m)

DEVELOPMENT APPLICATION
 NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REISSUED FOR DA APPROVAL	DG

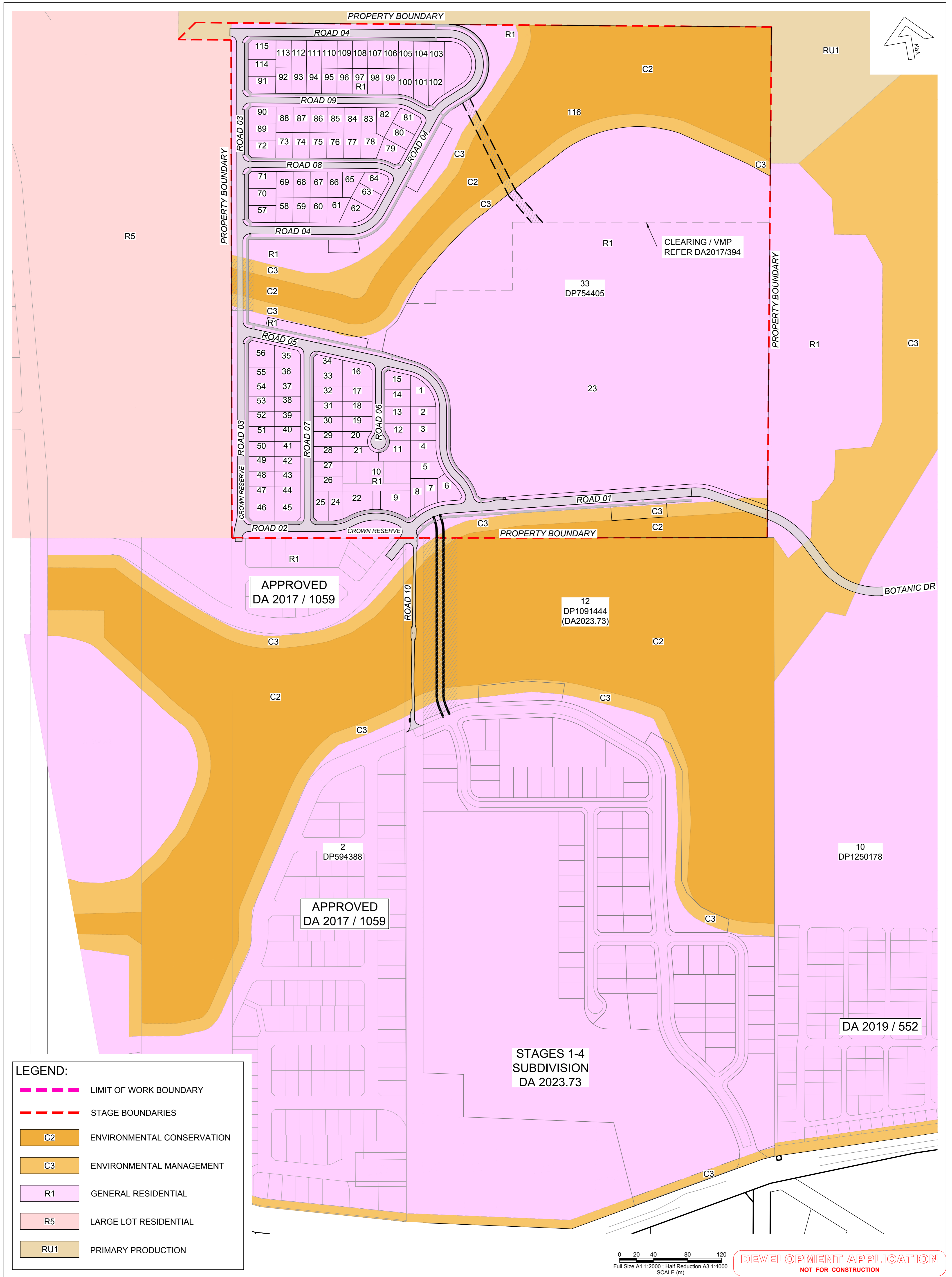
Hopkins
 SURVEYORS | CIVIL ENGINEERS | PLANNERS

Hopkins Consultants Pty Ltd ABN 27 055 060 878
 PO Box 1556 Port Macquarie NSW 2444
 T: 02 6583 6722 E: admin@hopcon.com.au
 W: www.hopkinsconsultants.com.au

JOJENI INVESTMENTS
WOODLANDS ESTATE
 LOT 33 DP 754405 - OCEAN DR, KEW
 DA 2025-97

WOODLANDS NORTH SUBDIVISION
DEVELOPMENT SITE
 DA STAGES 1-4

DRAWING NUMBER/REFERENCE		DESIGNER	ORIGIN OF LEVELS	REV
6849-029-001		KH	SSM 73593	P
SURVEYOR	HEIGHT	GG	RL 15.781	
DRAFTING	DATUM/GDA	GA	AHD	SHEET SIZE
APPROVED	SCALE	MM	AS SHOWN @ A1	A1



LEGEND:

- LIMIT OF WORK BOUNDARY
- STAGE BOUNDARIES
- C2 ENVIRONMENTAL CONSERVATION
- C3 ENVIRONMENTAL MANAGEMENT
- R1 GENERAL RESIDENTIAL
- R5 LARGE LOT RESIDENTIAL
- RU1 PRIMARY PRODUCTION

0 20 40 80 120
Full Size A1 1:2000 : Half Reduction A3 1:4000
SCALE (m)

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REVISED FOR DA APPROVAL	DG

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

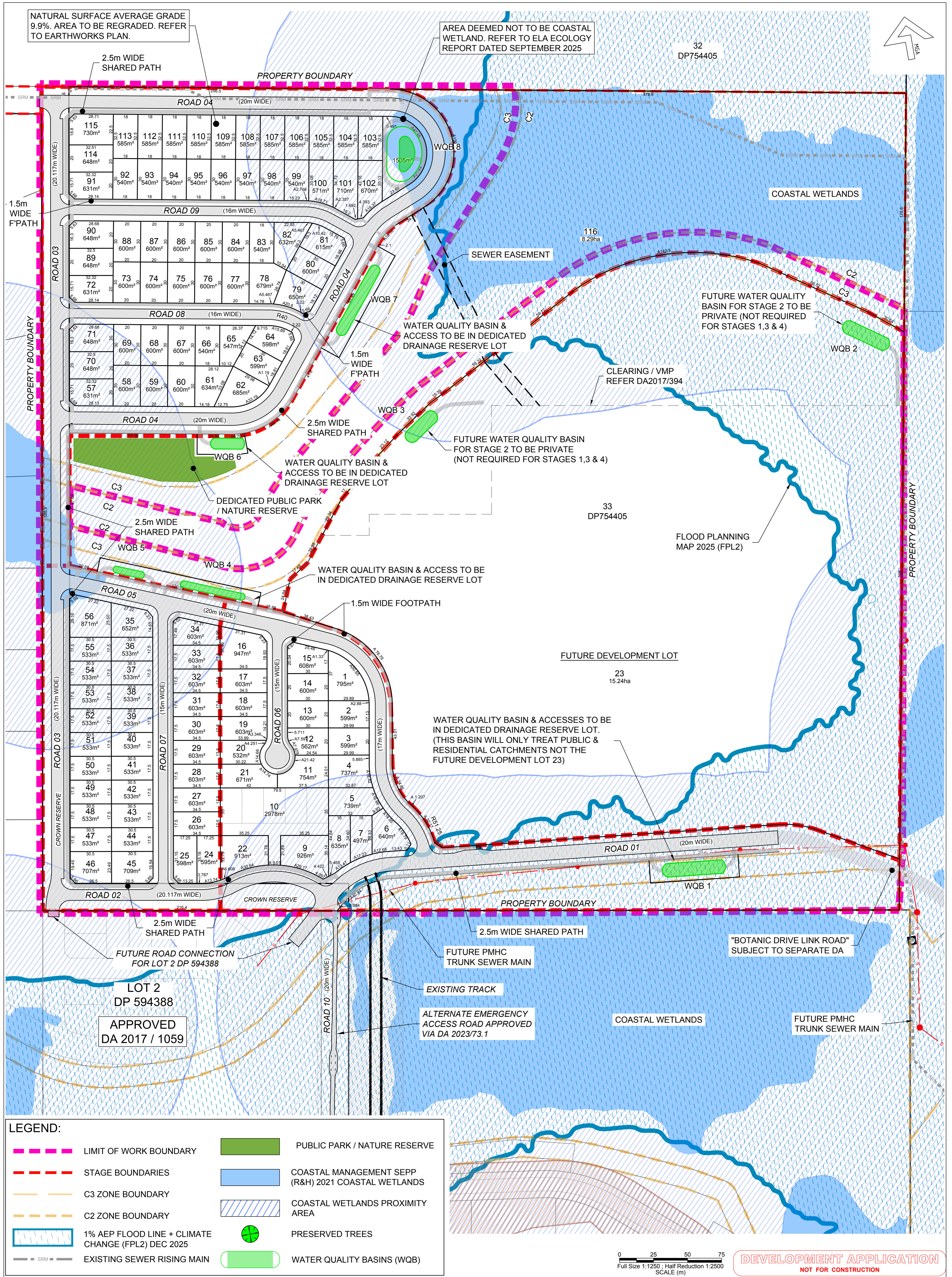
Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

© Hopkins Consultants Pty Ltd
JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
ZONING PLAN & LOT LAYOUT

DA STAGES 1-4

DRAWING NUMBER/REFERENCE		
6849-029-002		
DESIGNER	ORIGIN OF LEVELS	REV
KH	SSM 73593	P
SURVEYOR	HEIGHT	
GG	RL 15.781	
DRAFTING	DATUM/GDA	SHEET SIZE
GA	AHD	A1
APPROVED	SCALE	
MM	AS SHOWN @ A1	



No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	26/09/2025	REVISED FOR DA APPROVAL	DG

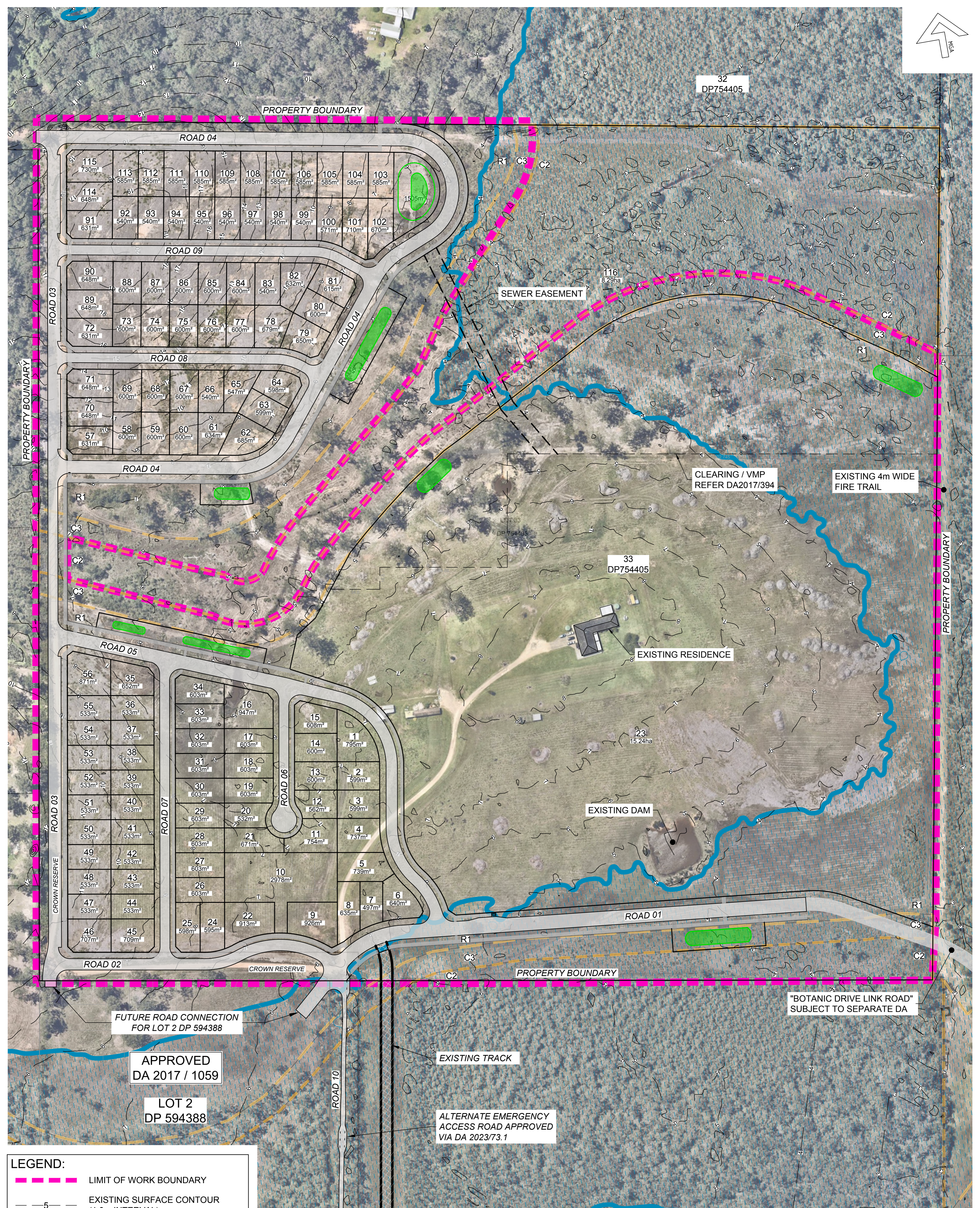
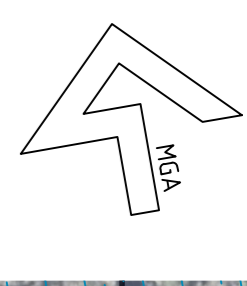
Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

Hopkins Consultants Pty Ltd. ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopkins.com.au
W: www.hopkinsconsultants.com.au

JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
LOT LAYOUT & DIMENSIONS
DA STAGES 1-4

DRAWING NUMBER/REFERENCE		REV
6849-029-004		P
DESIGNER	ORIGIN OF LEVELS	P
KH	SSM 73593	
SURVEYOR	HEIGHT	A1
GG	RL 15.781	
DRAFTING	DATUM/GDA	A1
GA	AHD	
APPROVED	SCALE	A1
MM	AS SHOWN @ A1	



APPROVED
DA 2017 / 1059

LOT 2
DP 594388

LEGEND:

- - - - - LIMIT OF WORK BOUNDARY
- - - - - EXISTING SURFACE CONTOUR (1.0m INTERVAL)
- - - - - C3 ZONE BOUNDARY
- - - - - C2 ZONE BOUNDARY
- - - - - PROPOSED EASEMENTS
- WQB (WATER QUALITY BASIN)

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REVISIED FOR DA APPROVAL	DG

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

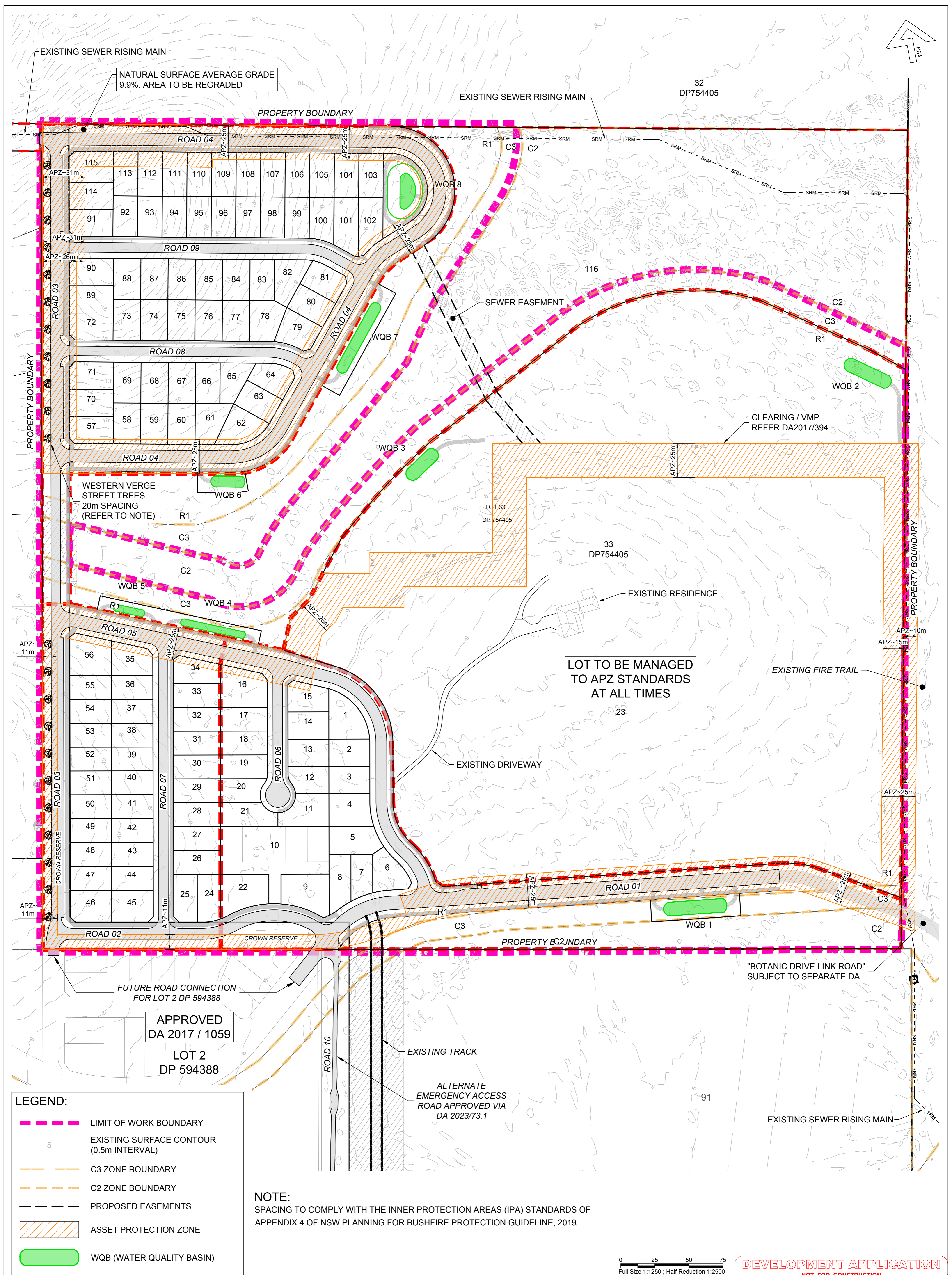
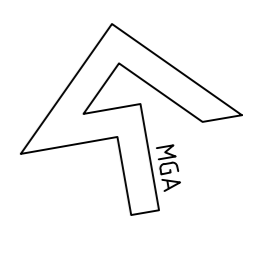
Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
AERIAL OVERLAY & LOT LAYOUT

DA STAGES 1-4

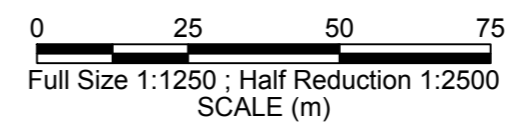
DRAWING NUMBER/REFERENCE		REV
6849-029-005		P
DESIGNER	ORIGIN OF LEVELS	P
KH	SSM 73593	
SURVEYOR	HEIGHT	A1
GG	RL 15.781	
DRAFTING	DATUM/GDA	A1
GA	AHD	
APPROVED	SCALE	A1
MM	AS SHOWN @ A1	



LEGEND:

- LIMIT OF WORK BOUNDARY
- EXISTING SURFACE CONTOUR (0.5m INTERVAL)
- C3 ZONE BOUNDARY
- C2 ZONE BOUNDARY
- PROPOSED EASEMENTS
- ASSET PROTECTION ZONE
- WQB (WATER QUALITY BASIN)

NOTE:
 SPACING TO COMPLY WITH THE INNER PROTECTION AREAS (IPA) STANDARDS OF APPENDIX 4 OF NSW PLANNING FOR BUSHFIRE PROTECTION GUIDELINE, 2019.



DEVELOPMENT APPLICATION
 NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	26/09/2025	REVISED FOR DA APPROVAL	DG

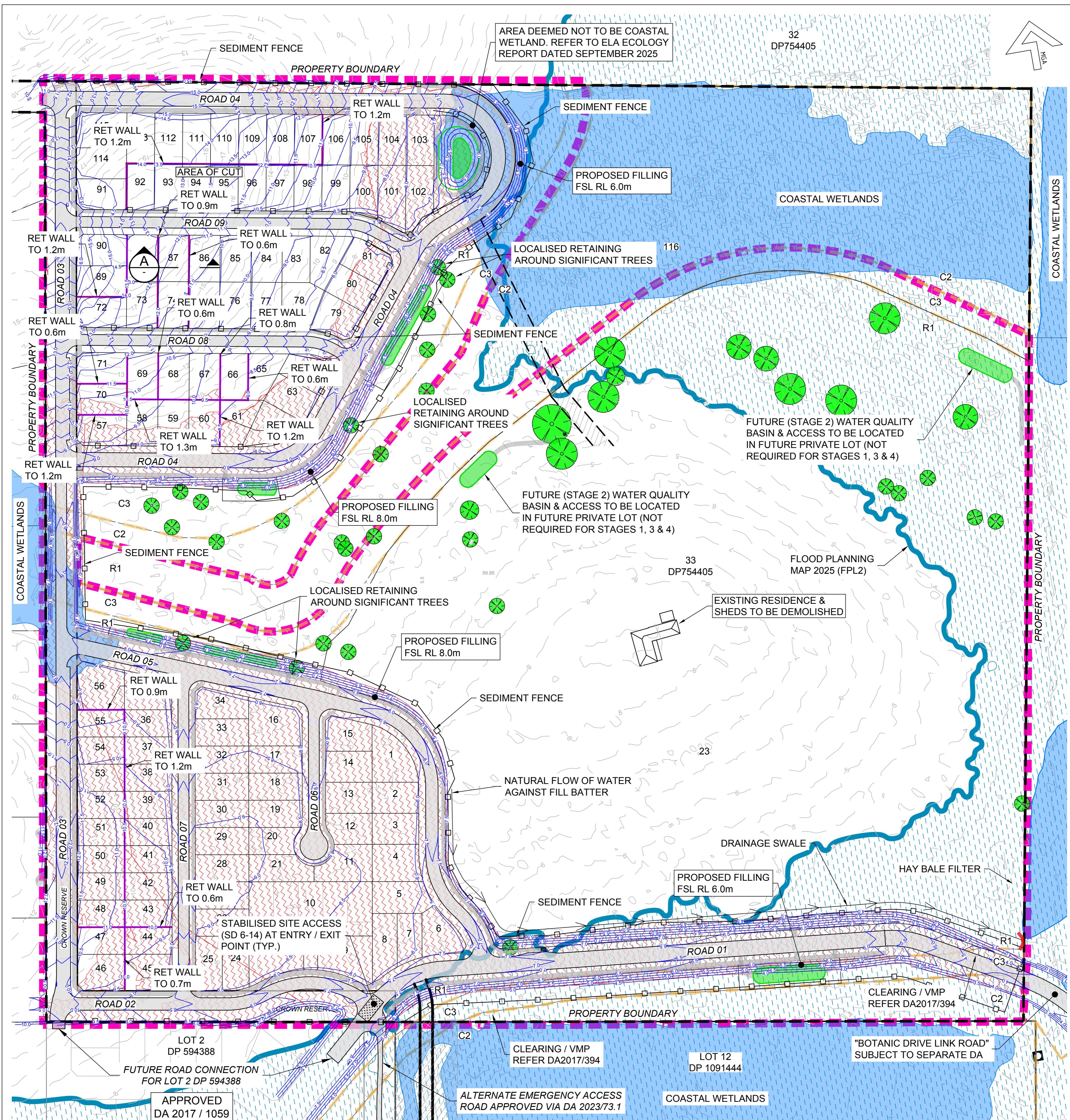
Hopkins
 SURVEYORS | CIVIL ENGINEERS | PLANNERS

Hopkins Consultants Pty Ltd ABN 27 055 060 878
 PO Box 1556 Port Macquarie NSW 2444
 T: 02 6583 6722 E: admin@hopkins.com.au
 W: www.hopkinsconsultants.com.au

JOJENI INVESTMENTS
WOODLANDS ESTATE
 LOT 33 DP 754405 - OCEAN DR, KEW
 DA 2025-97

WOODLANDS NORTH SUBDIVISION
ASSET PROTECTION ZONES
 DA STAGES 1-4

DRAWING NUMBER/REFERENCE		REV
6849-029-006		P
DESIGNER	ORIGIN OF LEVELS	
KH	SSM 73593	
SURVEYOR	HEIGHT	
GG	RL 15.781	
DRAFTING	DATUM/GDA	
GA	AHD	
APPROVED	SCALE	
MM	AS SHOWN @ A1	A1



AREA DEEMED NOT TO BE COASTAL WETLAND. REFER TO ELA ECOLOGY REPORT DATED SEPTEMBER 2025

COASTAL WETLANDS

LOCALISED RETAINING AROUND SIGNIFICANT TREES

FUTURE (STAGE 2) WATER QUALITY BASIN & ACCESS TO BE LOCATED IN FUTURE PRIVATE LOT (NOT REQUIRED FOR STAGES 1, 3 & 4)

FLOOD PLANNING MAP 2025 (FPL2)

EXISTING RESIDENCE & SHEDS TO BE DEMOLISHED

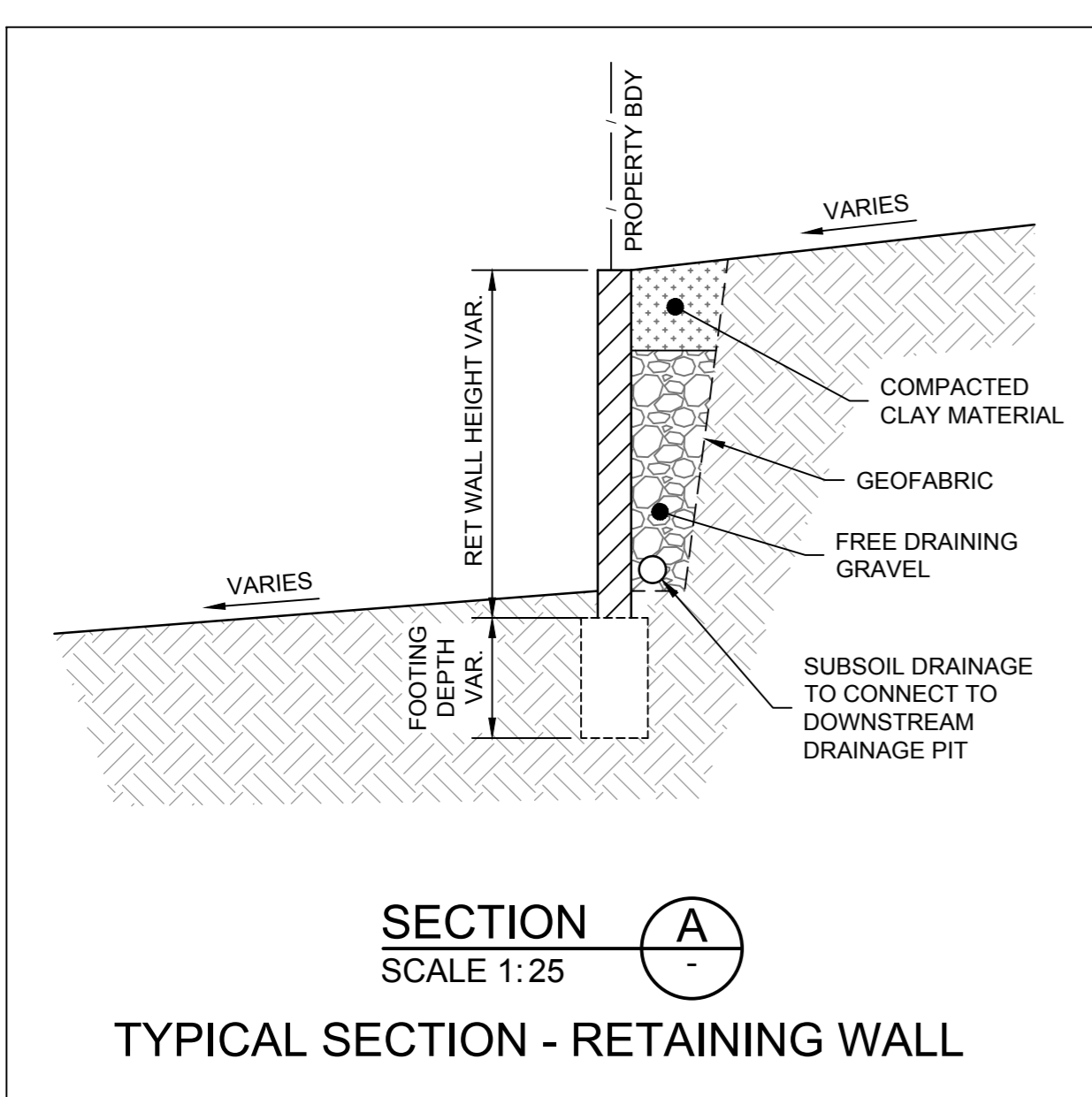
NATURAL FLOW OF WATER AGAINST FILL BATTER

DRAINAGE SWALE

HAY BALE FILTER

ALTERNATE EMERGENCY ACCESS ROAD APPROVED VIA DA 2023/73.1

COASTAL WETLANDS



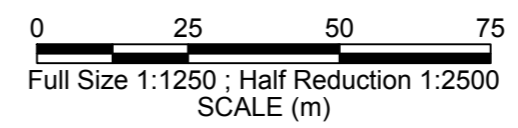
NOTES:

- THE SEDIMENT EROSION CONTROL PLAN IS PROVIDED AS A GUIDE ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE ADDITIONAL CONTROLS TO BE IN ACCORDANCE WITH THE BLUE BOOK.
- ALL EXISTING CONTROL MEASURES FROM EARTHWORKS & CLEARING WORKS ARE TO BE MAINTAINED.

RETAINING WALL NOTES:

- INTERALLOTMENT RETAINING WALL HEIGHT GENERALLY 0m TO 1.3m HIGH. (MAX HEIGHT 1.5m).
- RETAINING WALL LOCATIONS ARE SHOWN INDICATIVE ONLY (EXACT LOCATIONS & HEIGHT SUBJECT TO DETAILED DESIGN).
- CONTOUR INCREMENT 0.5m. CONTOURS SHOWN PRIOR TO DETAILED DESIGN.

LEGEND:	
	LIMIT OF WORK BOUNDARY
	DESIGN SURFACE CONTOUR 0.5m INTERVAL
	EXISTING SURFACE CONTOUR (0.5m INTERVAL)
	C3 ZONE BOUNDARY
	C2 ZONE BOUNDARY
	PROPOSED EASEMENTS
	PROPOSED RETAINING WALLS
	COASTAL MANAGEMENT SEPP (R&H) 2021 COASTAL WETLANDS
	CLEARING BOUNDARY AS APPROVED UNDER DA 2017/394
	PRESERVED TREES
	CUT-OFF DRAIN SWALE
	STRAW BALE FILTER - SD 6-7
	SEDIMENT FENCE - SD 6-8
	STABILISED SITE ACCESS (SD 6-14)
	PROPOSED FILLING AREA
	1% AEP FLOOD LINE + CLIMATE CHANGE (FPL2) DEC 2025



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REISSUED FOR DA APPROVAL	DG

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS
Hopkins Consultants Pty Ltd. ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

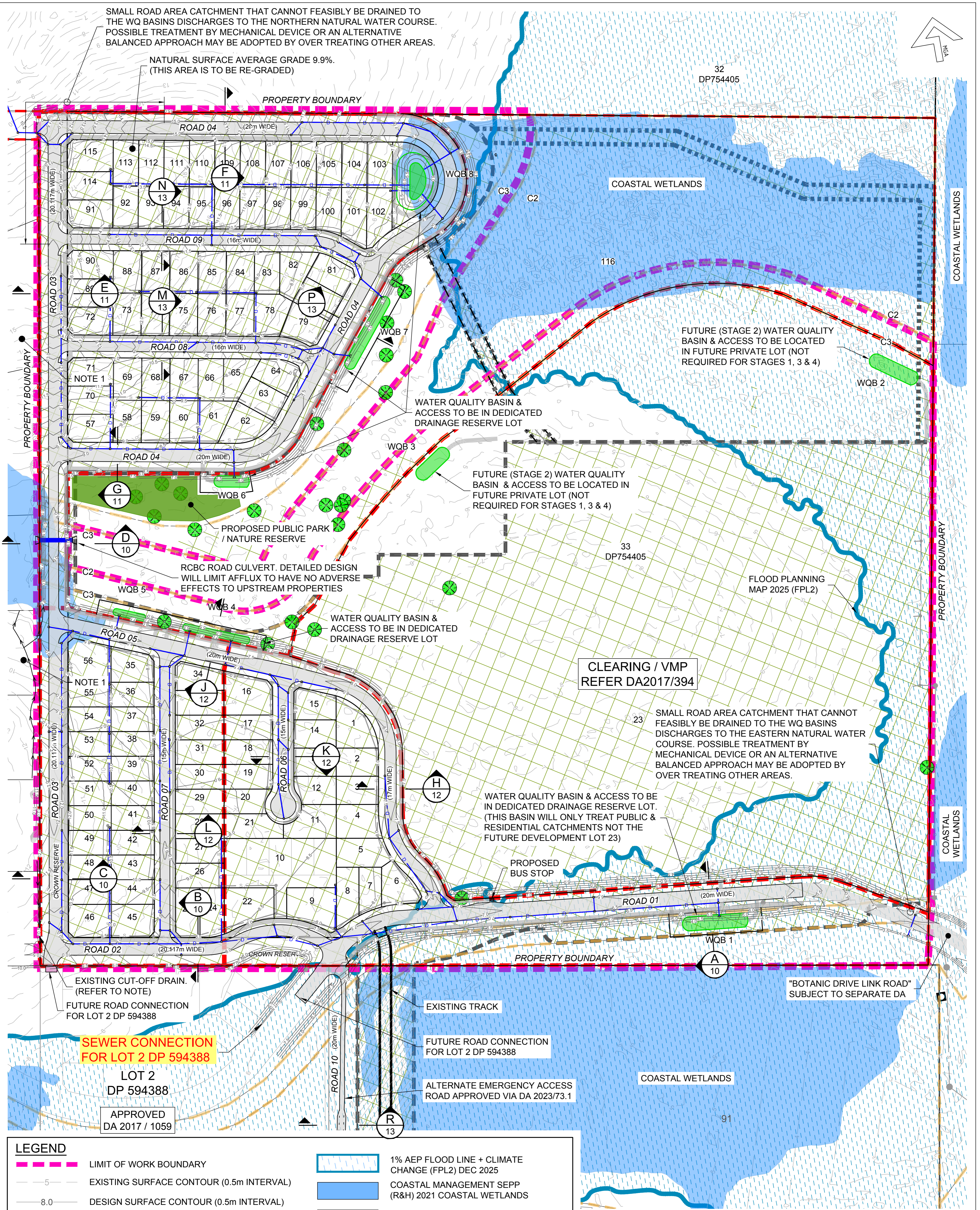
JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
PROPOSED EARTHWORKS,
SEDIMENT & EROSION CONTROL
DA STAGES 1-4

DRAWING NUMBER/REFERENCE		DESIGNER	ORIGIN OF LEVELS	REV
6849-029-007		KH	SSM 73593	P
		GG	RL 15.781	
		GA	AHD/GDA20	
		MM	AS SHOWN @ A1	A1

SMALL ROAD AREA CATCHMENT THAT CANNOT FEASIBLY BE DRAINED TO THE WQ BASINS DISCHARGES TO THE NORTHERN NATURAL WATER COURSE. POSSIBLE TREATMENT BY MECHANICAL DEVICE OR AN ALTERNATIVE BALANCED APPROACH MAY BE ADOPTED BY OVER TREATING OTHER AREAS.

NATURAL SURFACE AVERAGE GRADE 9.9%.
(THIS AREA IS TO BE RE-GRADED)



FUTURE (STAGE 2) WATER QUALITY BASIN & ACCESS TO BE LOCATED IN FUTURE PRIVATE LOT (NOT REQUIRED FOR STAGES 1, 3 & 4)

WATER QUALITY BASIN & ACCESS TO BE IN DEDICATED DRAINAGE RESERVE LOT

FUTURE (STAGE 2) WATER QUALITY BASIN & ACCESS TO BE LOCATED IN FUTURE PRIVATE LOT (NOT REQUIRED FOR STAGES 1, 3 & 4)

PROPOSED PUBLIC PARK / NATURE RESERVE

RCBC ROAD CULVERT. DETAILED DESIGN WILL LIMIT AFFLUX TO HAVE NO ADVERSE EFFECTS TO UPSTREAM PROPERTIES

WATER QUALITY BASIN & ACCESS TO BE IN DEDICATED DRAINAGE RESERVE LOT

CLEARING / VMP REFER DA2017/394

SMALL ROAD AREA CATCHMENT THAT CANNOT FEASIBLY BE DRAINED TO THE WQ BASINS DISCHARGES TO THE EASTERN NATURAL WATER COURSE. POSSIBLE TREATMENT BY MECHANICAL DEVICE OR AN ALTERNATIVE BALANCED APPROACH MAY BE ADOPTED BY OVER TREATING OTHER AREAS.

WATER QUALITY BASIN & ACCESS TO BE IN DEDICATED DRAINAGE RESERVE LOT. (THIS BASIN WILL ONLY TREAT PUBLIC & RESIDENTIAL CATCHMENTS NOT THE FUTURE DEVELOPMENT LOT 23)

PROPOSED BUS STOP

"BOTANIC DRIVE LINK ROAD" SUBJECT TO SEPARATE DA

SEWER CONNECTION FOR LOT 2 DP 594388

LOT 2 DP 594388

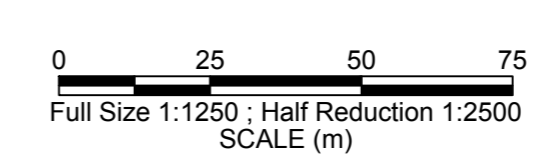
APPROVED DA 2017 / 1059

LEGEND

- LIMIT OF WORK BOUNDARY
- EXISTING SURFACE CONTOUR (0.5m INTERVAL)
- DESIGN SURFACE CONTOUR (0.5m INTERVAL)
- PROPOSED EASEMENTS
- PROPOSED STORMWATER DRAINAGE
- PROPOSED STORMWATER PITS
- C3 ZONE BOUNDARY
- C2 ZONE BOUNDARY
- 1% AEP FLOOD LINE + CLIMATE CHANGE (FPL2) DEC 2025
- COASTAL MANAGEMENT SEPP (R&H) 2021 COASTAL WETLANDS
- PUBLIC PARK / NATURE RESERVE
- CLEARING BOUNDARY AS APPROVED UNDER DA 2017/394
- WATER QUALITY BASINS (WQB)
- PRESERVED TREES

NOTE:

WESTERN UPSTREAM CATCHMENTS WILL BE MANAGED BY EXISTING CUT-OFF DRAINS ON THESE PROPERTIES. THESE CONVEY WATER TO BOTH NORTH & SOUTH, NATURALLY FLOWING TO THE LOW LYING COASTAL WETLANDS, IN BOTH DIRECTIONS.



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REVISED FOR DA APPROVAL	DG
No.	DATE	REVISIONS	BY

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

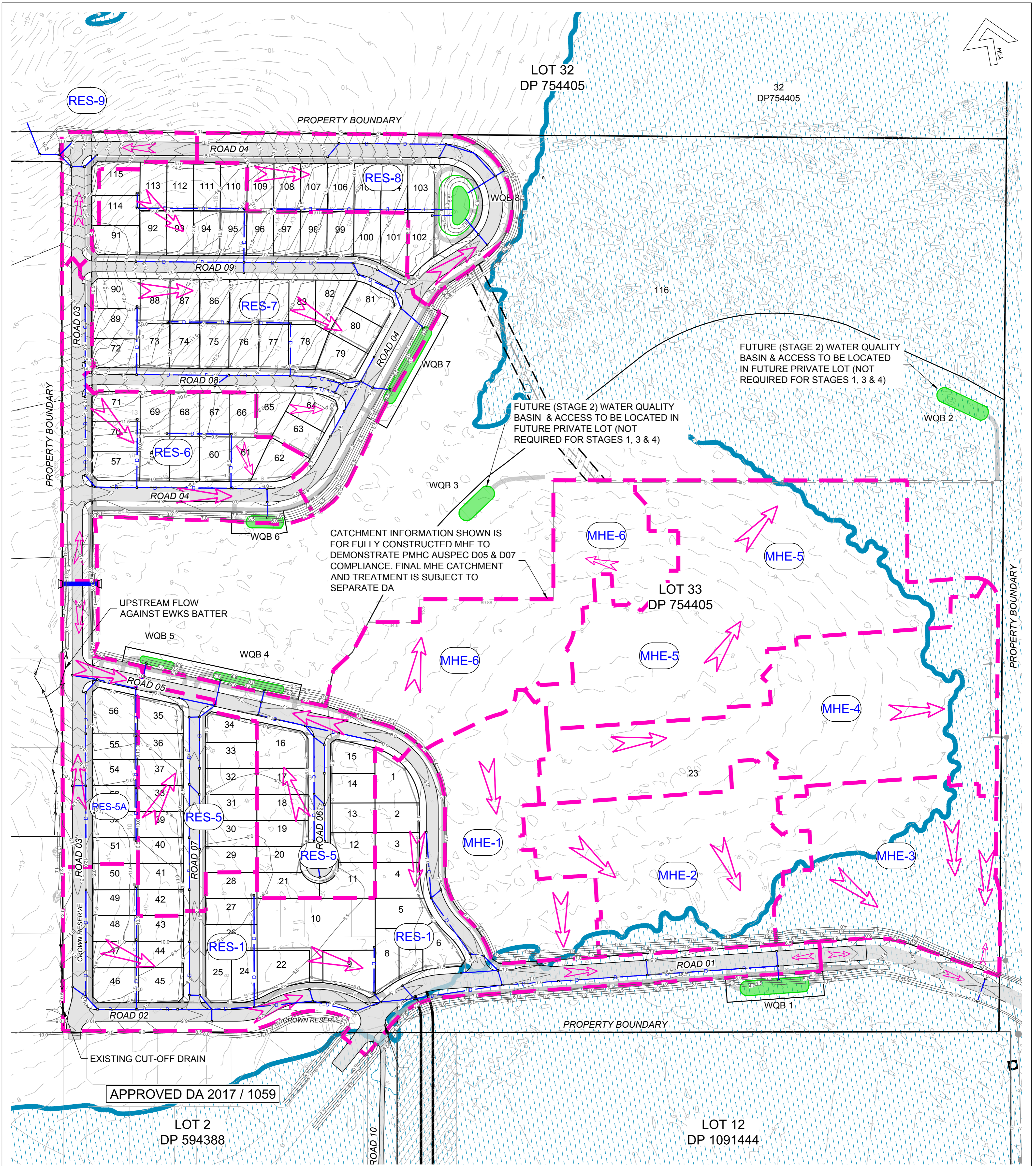
Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
ROAD AND DRAINAGE LAYOUT

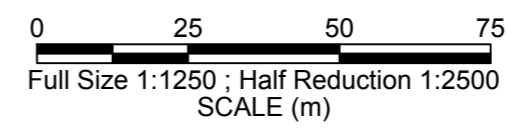
DA STAGES 1-4

DRAWING NUMBER/REFERENCE		REV
6849-029-008		P
DESIGNER	ORIGIN OF LEVELS	SHEET SIZE
KH	SSM 73593	
SURVEYOR	HEIGHT	A1
GG	RL 15.781	
DRAFTING	DATUM/GDA	
GA	AHD/GDA20	
APPROVED	SCALE	
MM	AS SHOWN @ A1	



LEGEND:

	EXISTING SURFACE CONTOUR (0.5m INTERVAL)
	DESIGN SURFACE CONTOUR (0.5m INTERVAL)
	PROPOSED STORMWATER DRAINAGE
	PROPOSED STORMWATER PITS
	STORMWATER FLOW DIRECTION
	STORMWATER CATCHMENTS
	WQB (WATER QUALITY BASIN)
	EXISTING CUT-OFF DRAIN



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
J	12/12/2025	REISSUED FOR DA APPROVAL	LR
K	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REVISED FOR DA APPROVAL	DG

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

© Hopkins Consultants Pty Ltd

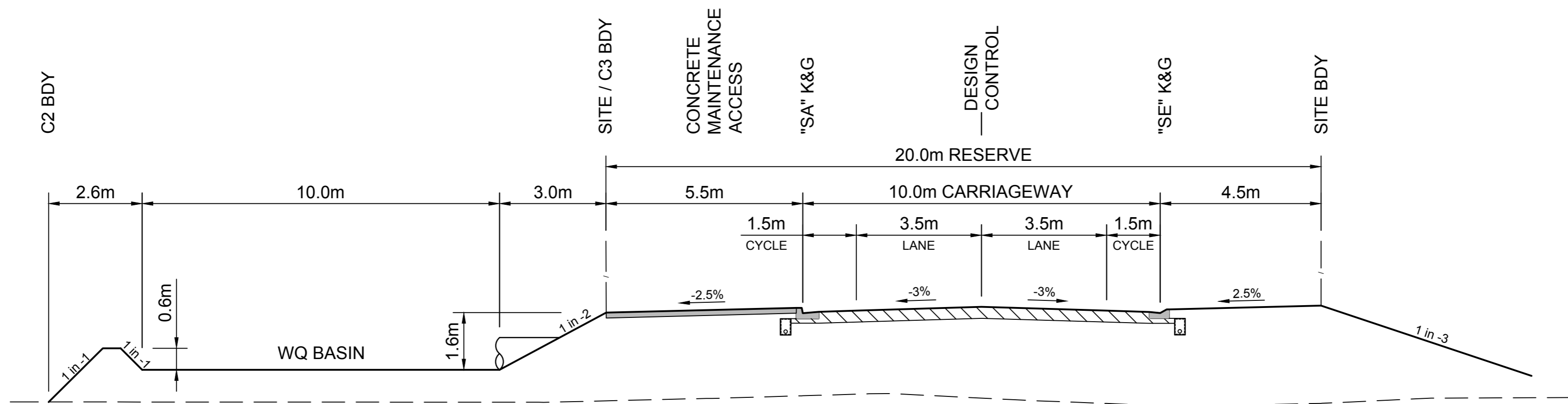
JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
STORMWATER CATCHMENT PLAN

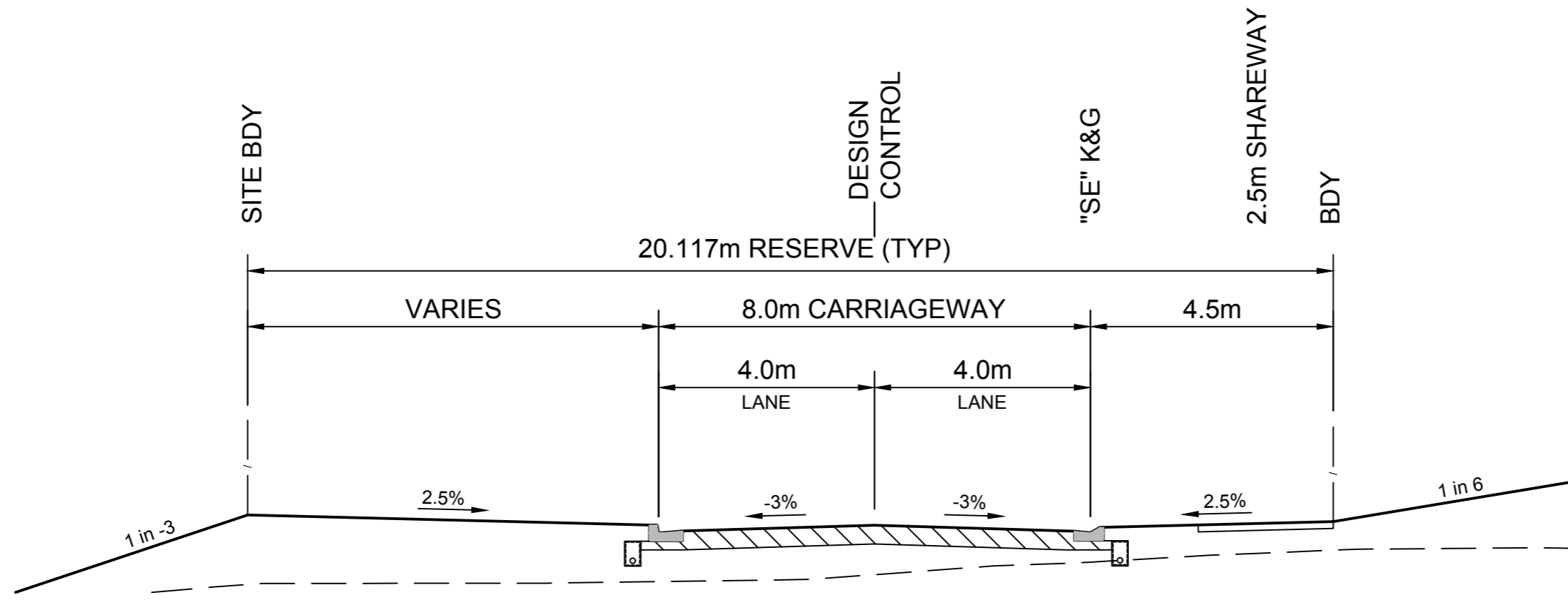
DA STAGES 1-4

DRAWING NUMBER/REFERENCE		
6849-029-009		
DESIGNER	ORIGIN OF LEVELS	REV
KH	SSM 73593	P
SURVEYOR	HEIGHT	
GG	RL 15.781	
DRAFTING	DATUM/GDA	SHEET SIZE
GA	AHD/GDA20	A1
APPROVED	SCALE	
MM	AS SHOWN @ A1	

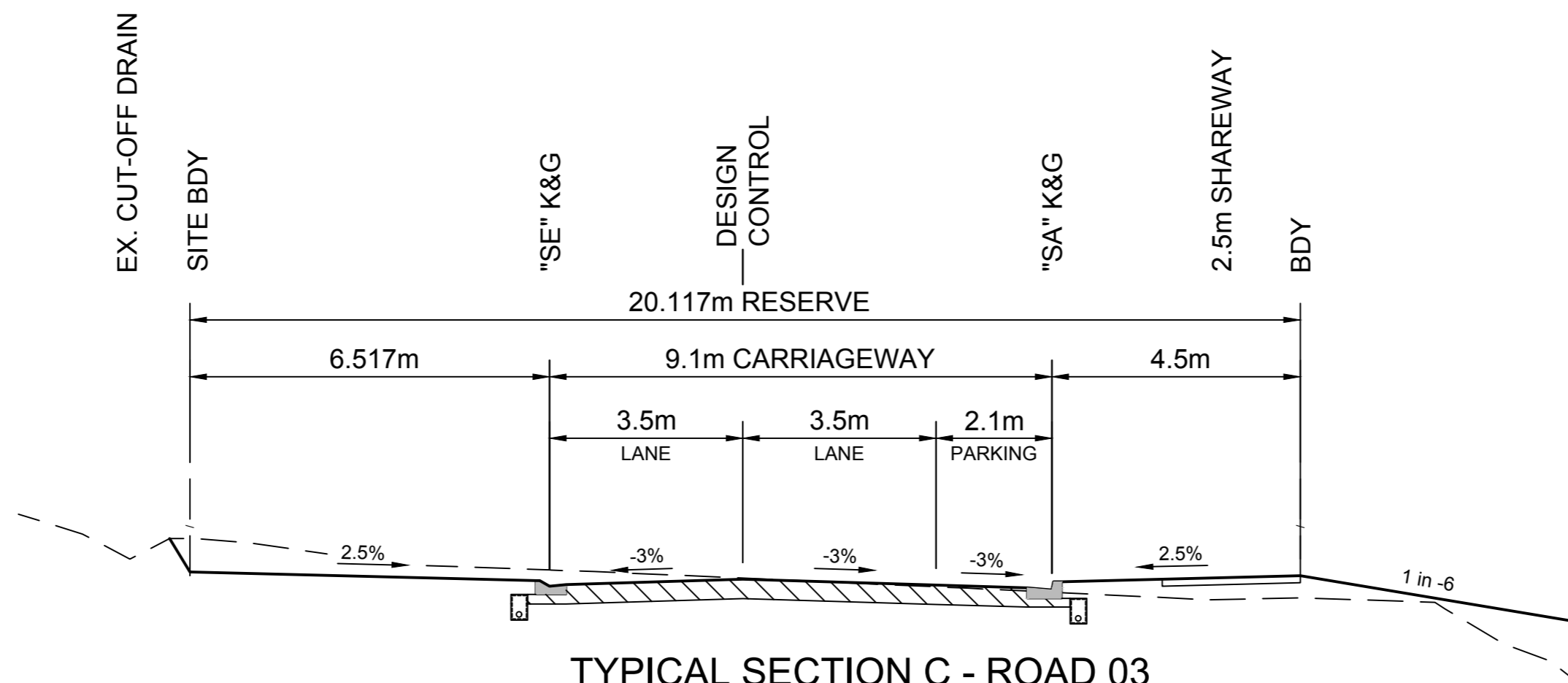
Cad File: S:\Projects\6849-2 Woodlands NH\DWGS\PLANNING\6849-029.dwg, Layout: 9, Plotted By: luke.robins, Date: 28/05/26 - 14:24.



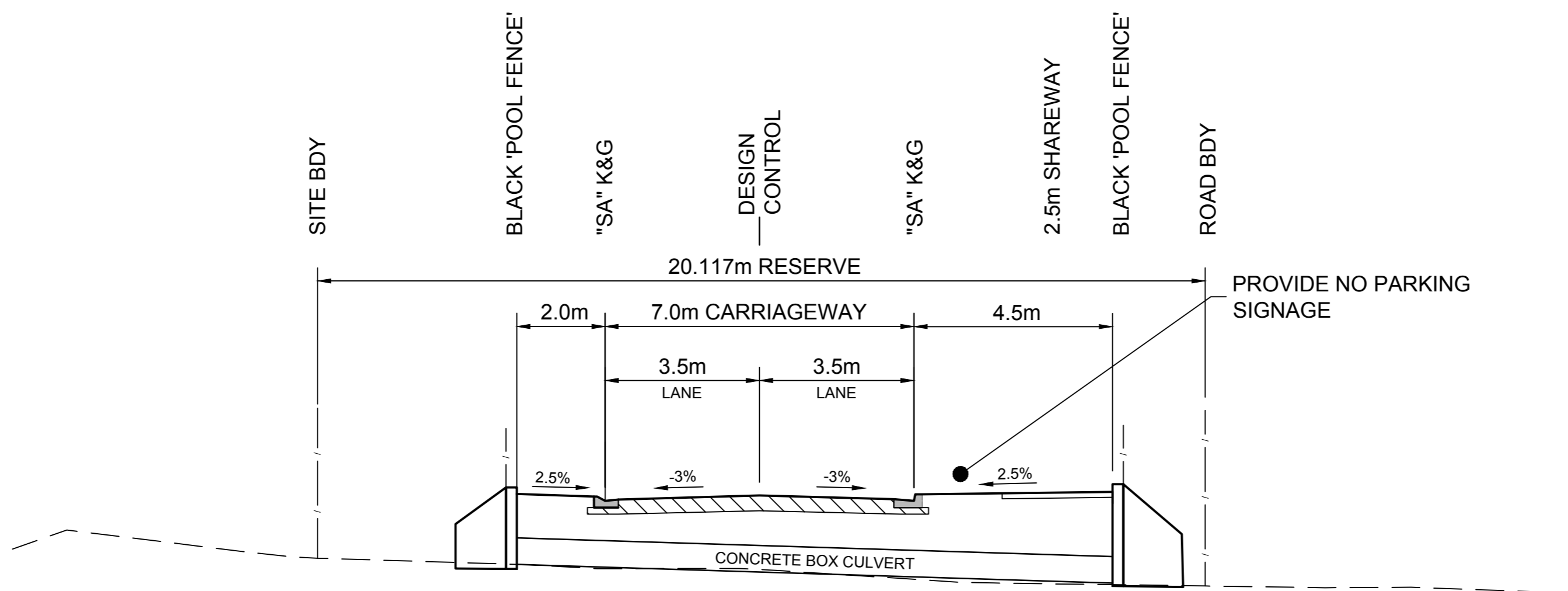
TYPICAL SECTION A - ROAD 01
COLLECTOR ROAD (20m WIDE)
 SCALE 1:100



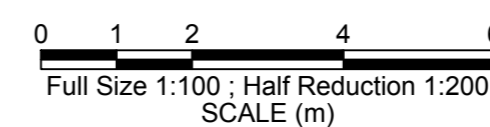
TYPICAL SECTION B - ROAD 02
PERIMETER ROAD (VARIABLE 20.117m WIDE)
 SCALE 1:100



TYPICAL SECTION C - ROAD 03
PERIMETER ROAD (20.117m WIDE)
 SCALE 1:100



TYPICAL SECTION D - ROAD 03
PERIMETER ROAD (20.117m WIDE)
 SCALE 1:100



DEVELOPMENT APPLICATION
 NOT FOR CONSTRUCTION

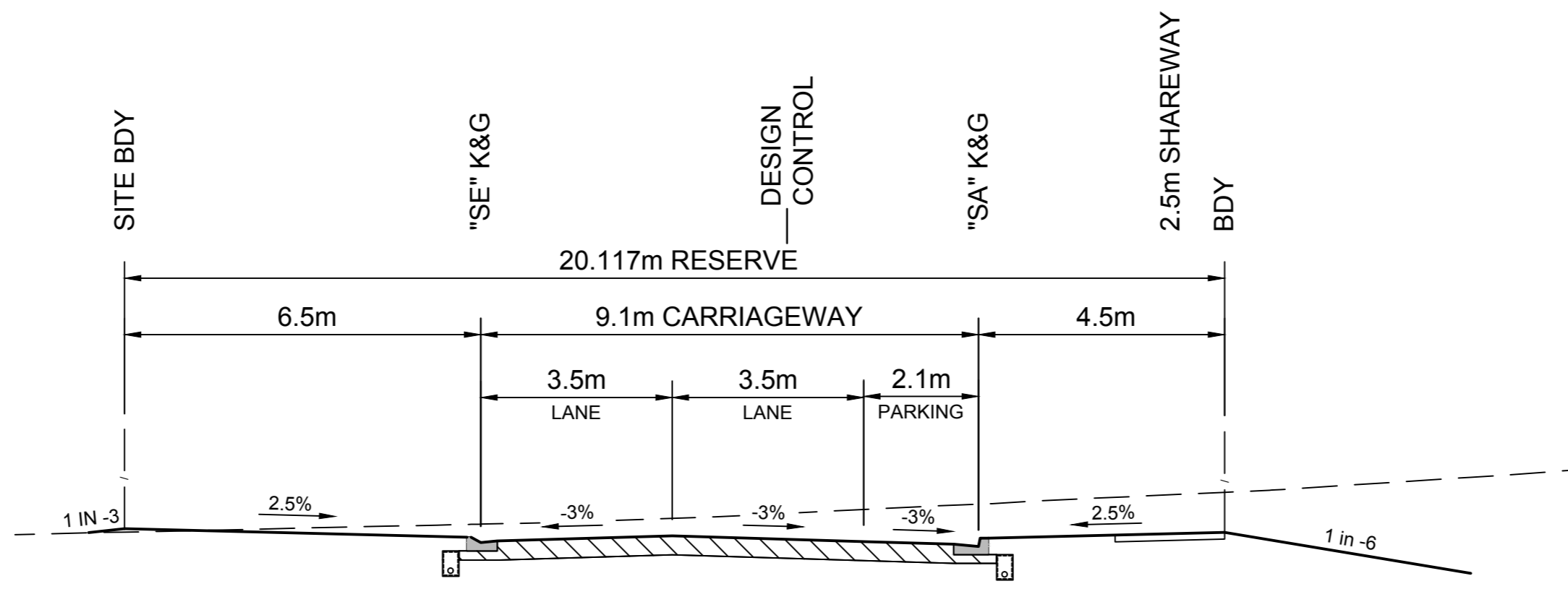
No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REISSUED FOR DA APPROVAL	DG

Hopkins
 SURVEYORS | CIVIL ENGINEERS | PLANNERS
 Hopkins Consultants Pty Ltd | ABN 27 055 060 878
 PO Box 1556 Port Macquarie NSW 2444
 T: 02 6583 6722 E: admin@hopkins.com.au
 W: www.hopkinsconsultants.com.au

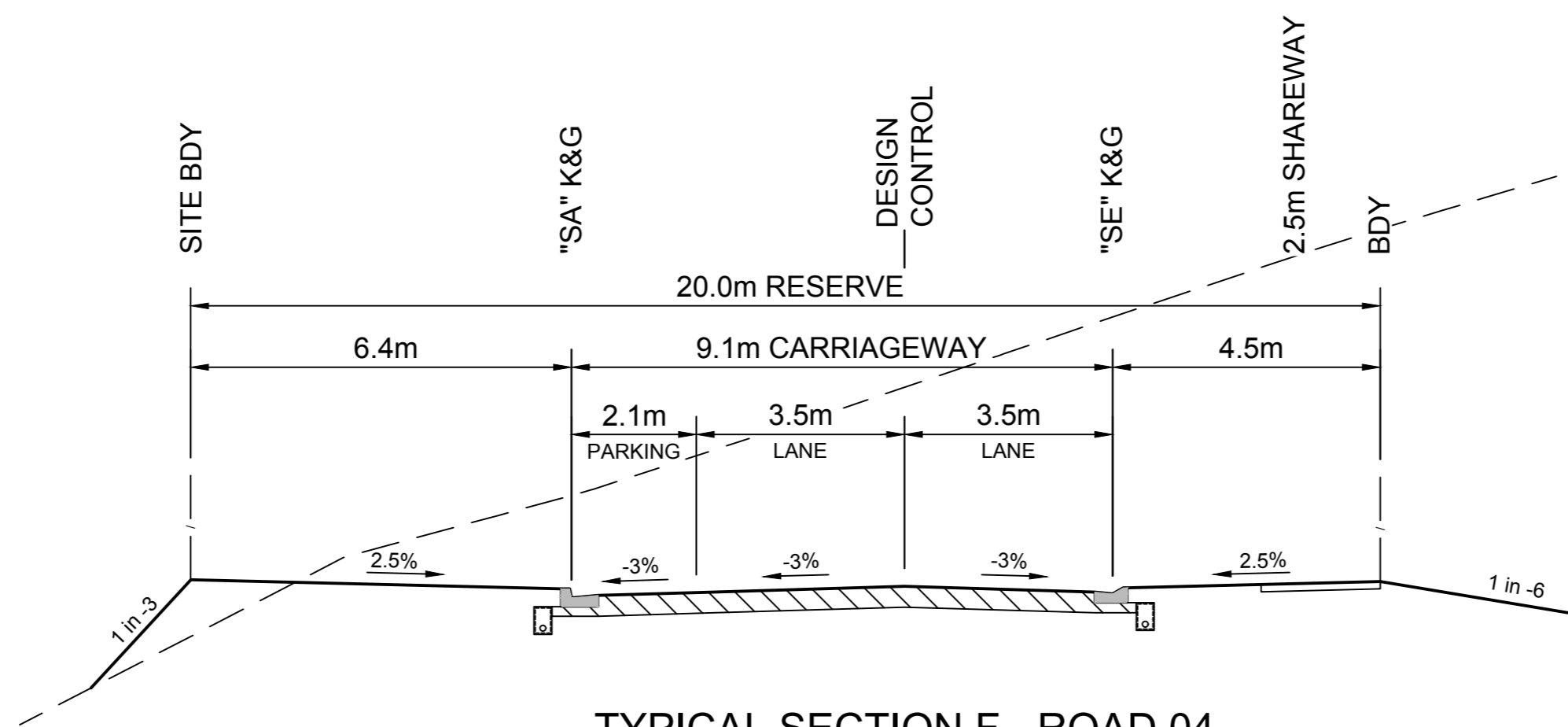
JOJENI INVESTMENTS
WOODLANDS ESTATE
 LOT 33 DP 754405 - OCEAN DR, KEW
 DA 2025-97

WOODLANDS NORTH SUBDIVISION
TYPICAL ROAD SECTIONS
SECTIONS A, B, C, & D
DA STAGES 1-4

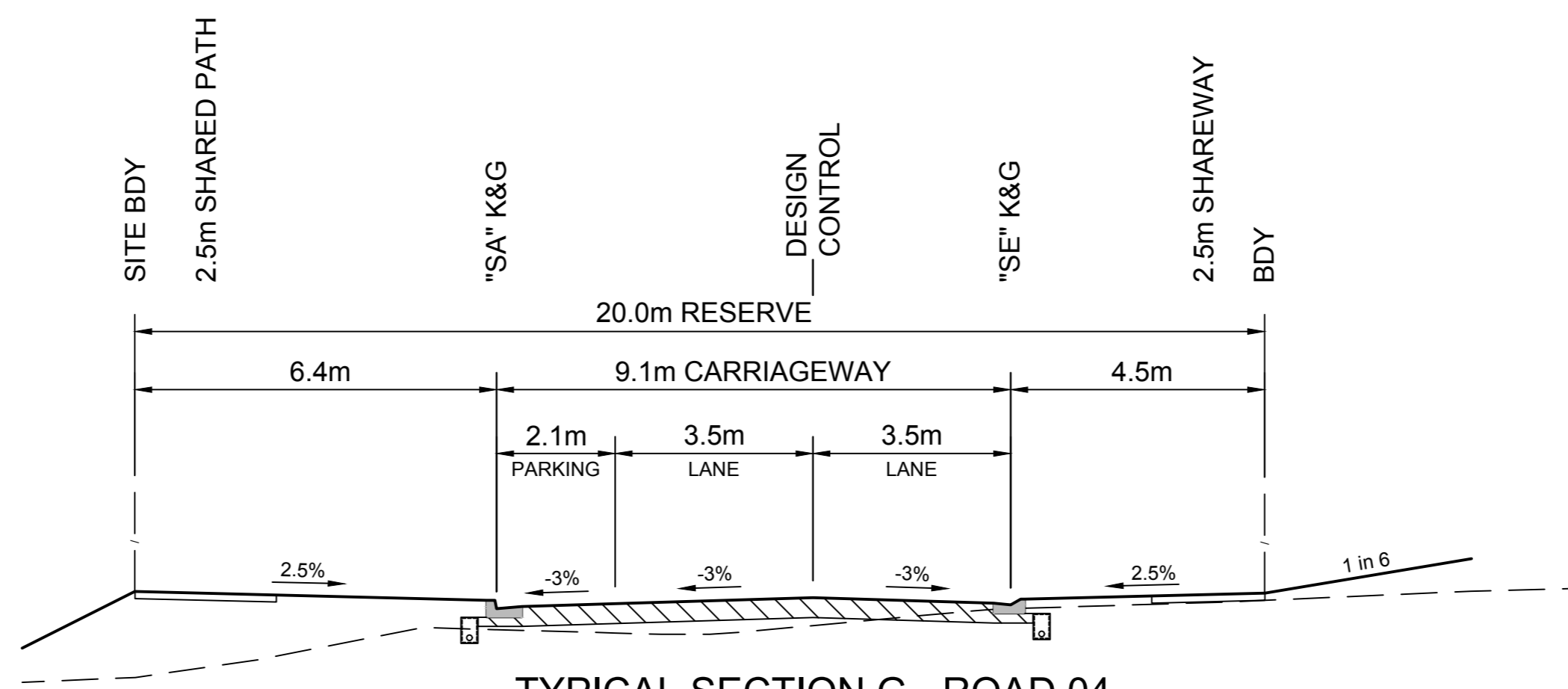
DRAWING NUMBER/REFERENCE		REV
6849-029-010		P
DESIGNER	ORIGIN OF LEVELS	P
KH	SSM 73593	
SURVEYOR	HEIGHT	A1
GG	RL 15.781	
DRAFTING	DATUM/GDA	A1
GA	AHD	
APPROVED	SCALE	A1
MM	AS SHOWN @ A1	



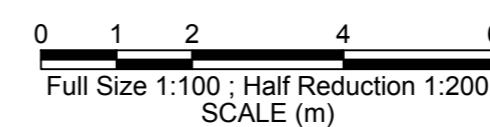
TYPICAL SECTION E - ROAD 03
PERIMETER ROAD (20.117m WIDE)
 SCALE 1:100



TYPICAL SECTION F - ROAD 04
PERIMETER ROAD (20m WIDE)
 SCALE 1:100



TYPICAL SECTION G - ROAD 04
PERIMETER ROAD (20m WIDE)
 SCALE 1:100



DEVELOPMENT APPLICATION
 NOT FOR CONSTRUCTION

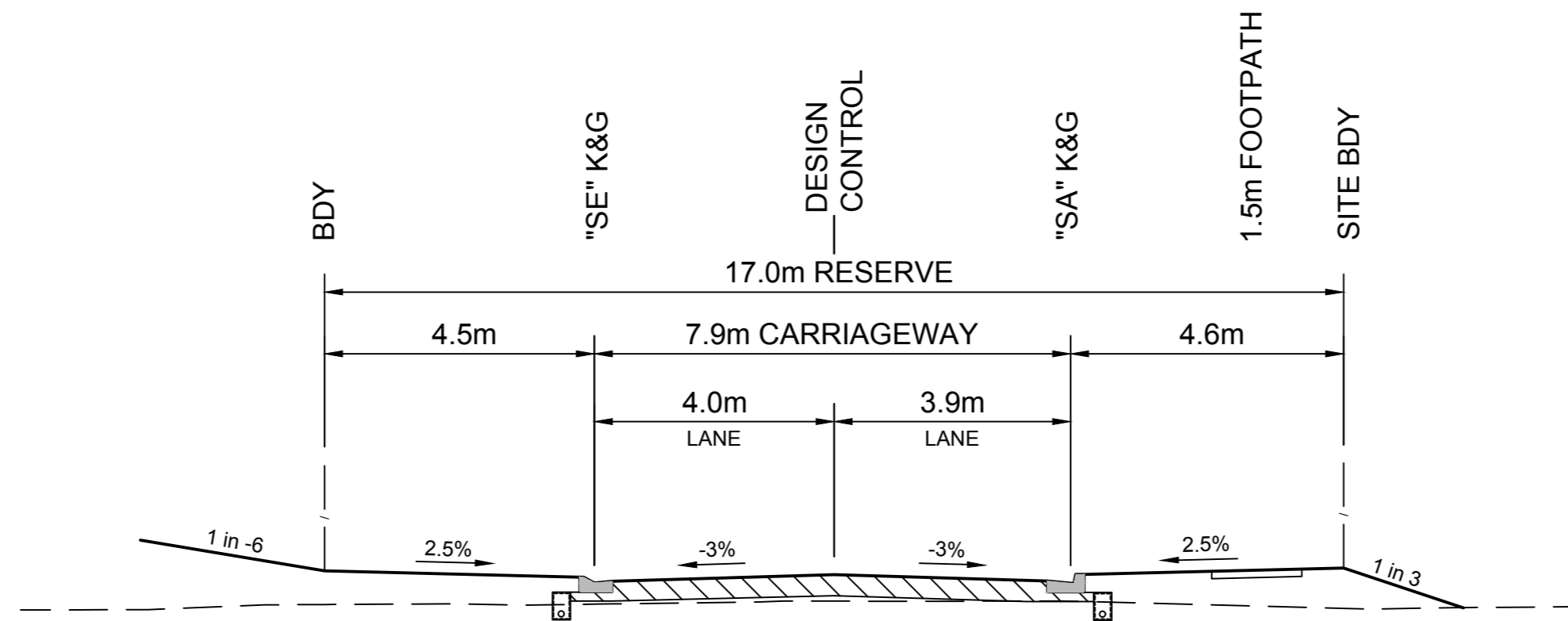
No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REVISED FOR DA APPROVAL	DG

Hopkins
 SURVEYORS | CIVIL ENGINEERS | PLANNERS
 Hopkins Consultants Pty Ltd ABN 27 055 060 878
 PO Box 1556 Port Macquarie NSW 2444
 T: 02 6583 6722 E: admin@hopcon.com.au
 W: www.hopkinsconsultants.com.au

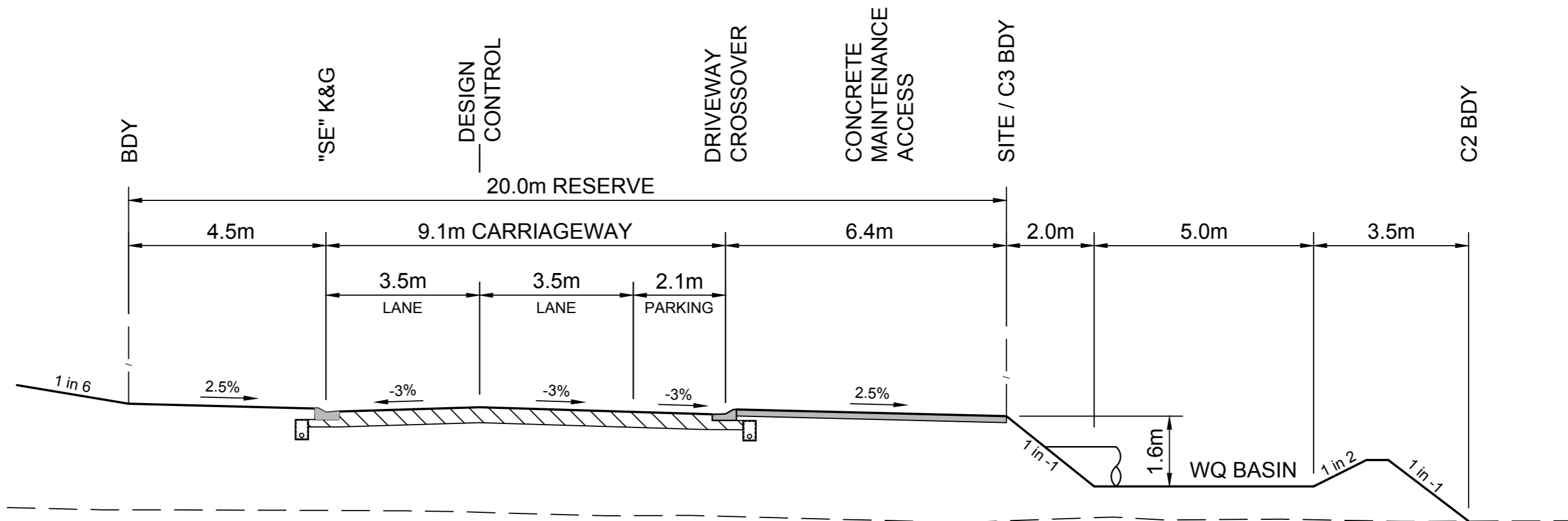
© Hopkins Consultants Pty Ltd
JOJENI INVESTMENTS
WOODLANDS ESTATE
 LOT 33 DP 754405 - OCEAN DR, KEW
 DA 2025-97

WOODLANDS NORTH SUBDIVISION
TYPICAL ROAD SECTIONS
SECTIONS E, F, G & H
DA STAGES 1-4

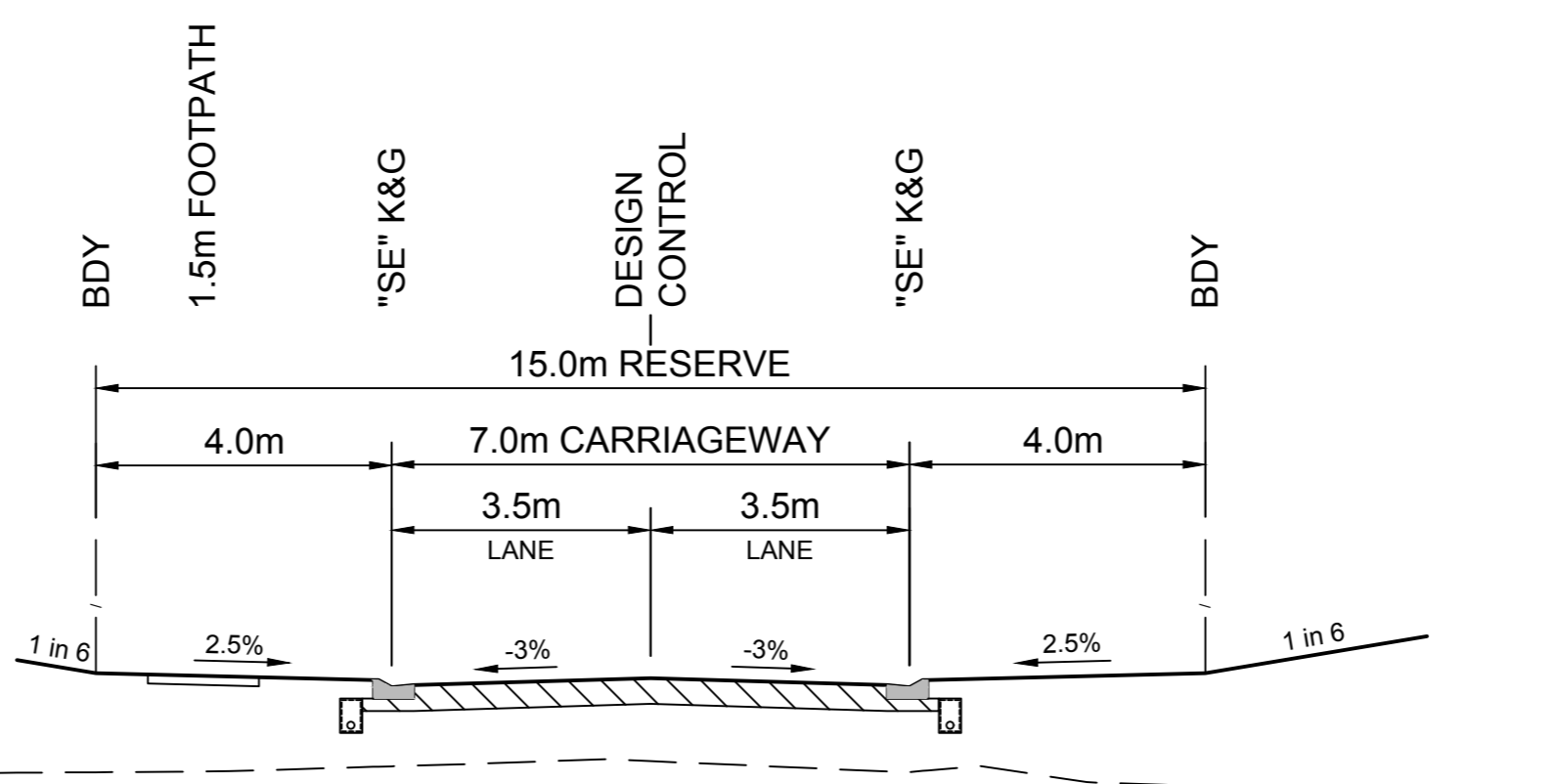
DRAWING NUMBER/REFERENCE		
6849-029-011		
DESIGNER	ORIGIN OF LEVELS	REV
KH	SSM 73593	P
SURVEYOR	HEIGHT	
GG	RL 15.781	
DRAFTING	DATUM/GDA	SHEET SIZE
GA	AHD	A1
APPROVED	SCALE	
MM	AS SHOWN @ A1	



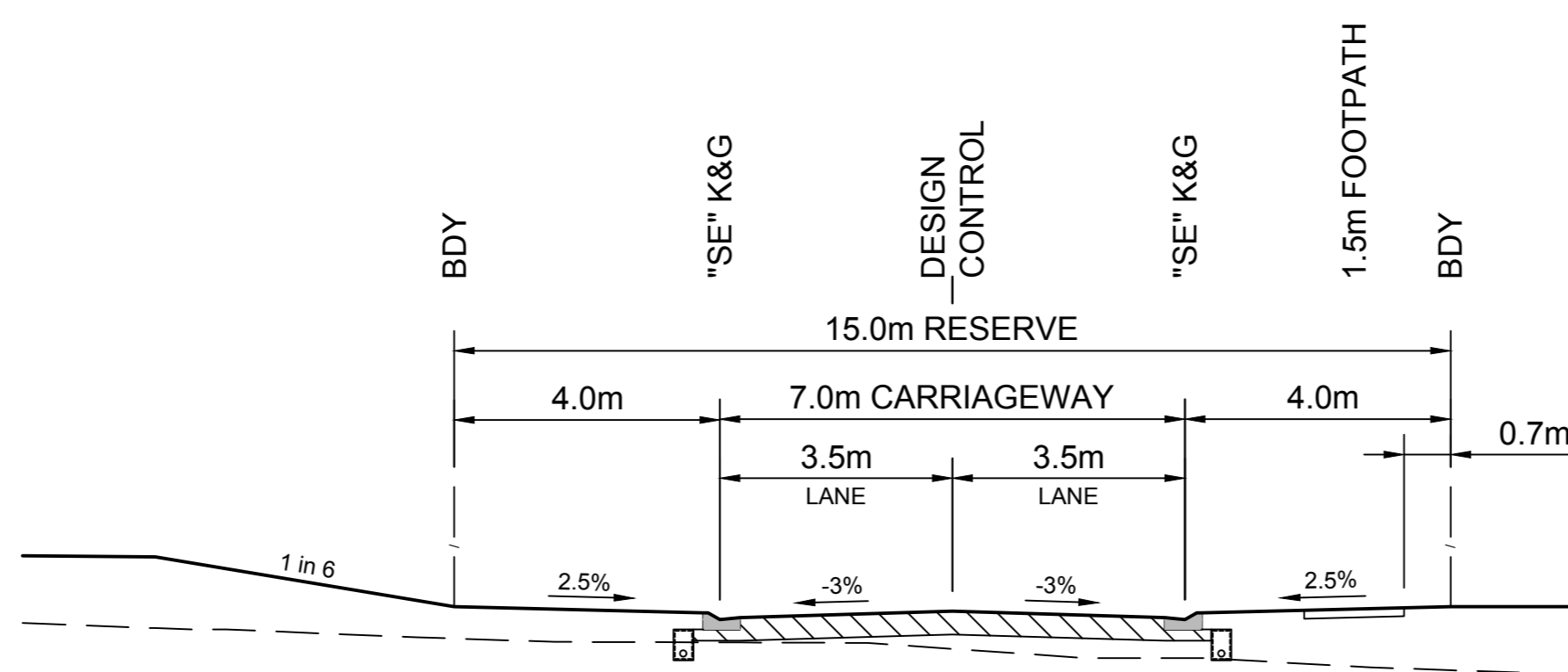
TYPICAL SECTION H - ROAD 05
PERIMETER ROAD (17m WIDE)
 SCALE 1:100



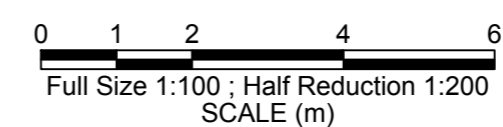
TYPICAL SECTION J - ROAD 05
PERIMETER ROAD (20m WIDE)
 SCALE 1:100



TYPICAL SECTION K - ROAD 06
INTERNAL ROAD (15m WIDE)
 SCALE 1:100



TYPICAL SECTION L - ROAD 07
INTERNAL ROAD (15m WIDE)
 SCALE 1:100



DEVELOPMENT APPLICATION
 NOT FOR CONSTRUCTION

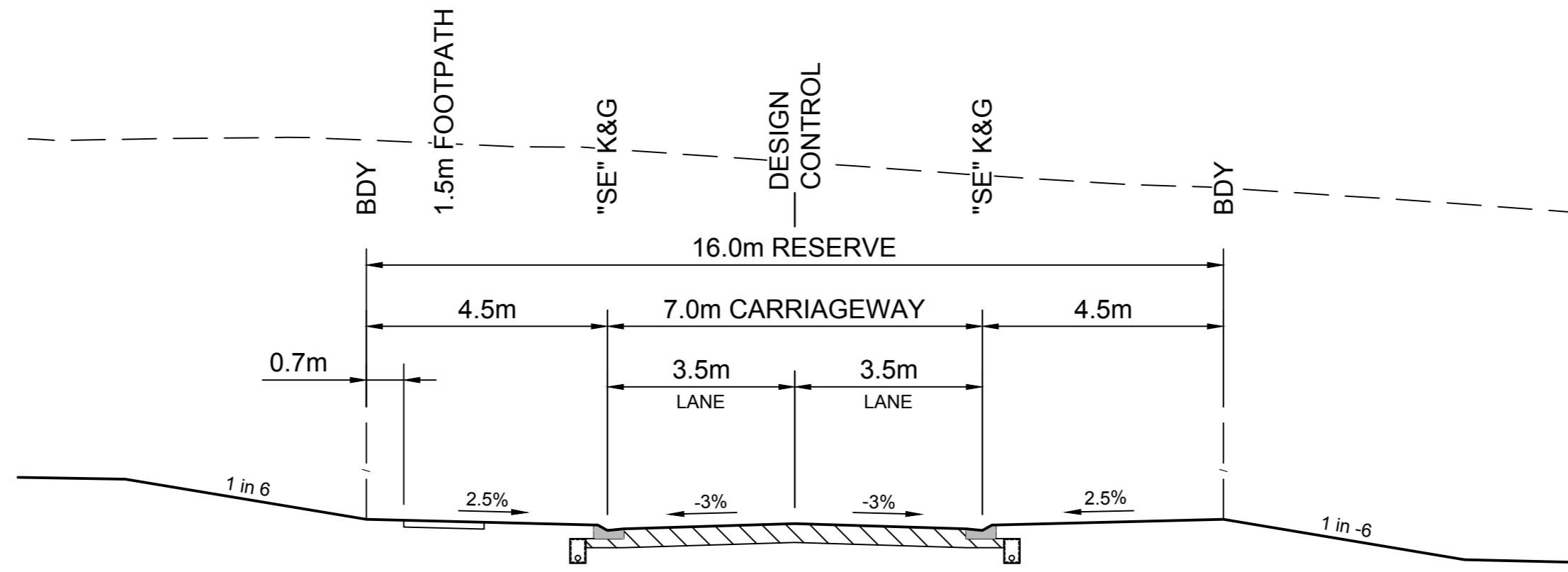
No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REVISED FOR DA APPROVAL	DG

Hopkins
 SURVEYORS | CIVIL ENGINEERS | PLANNERS
 Hopkins Consultants Pty Ltd ABN 27 055 060 878
 PO Box 1556 Port Macquarie NSW 2444
 T: 02 6583 6722 E: admin@hopcon.com.au
 W: www.hopkinsconsultants.com.au

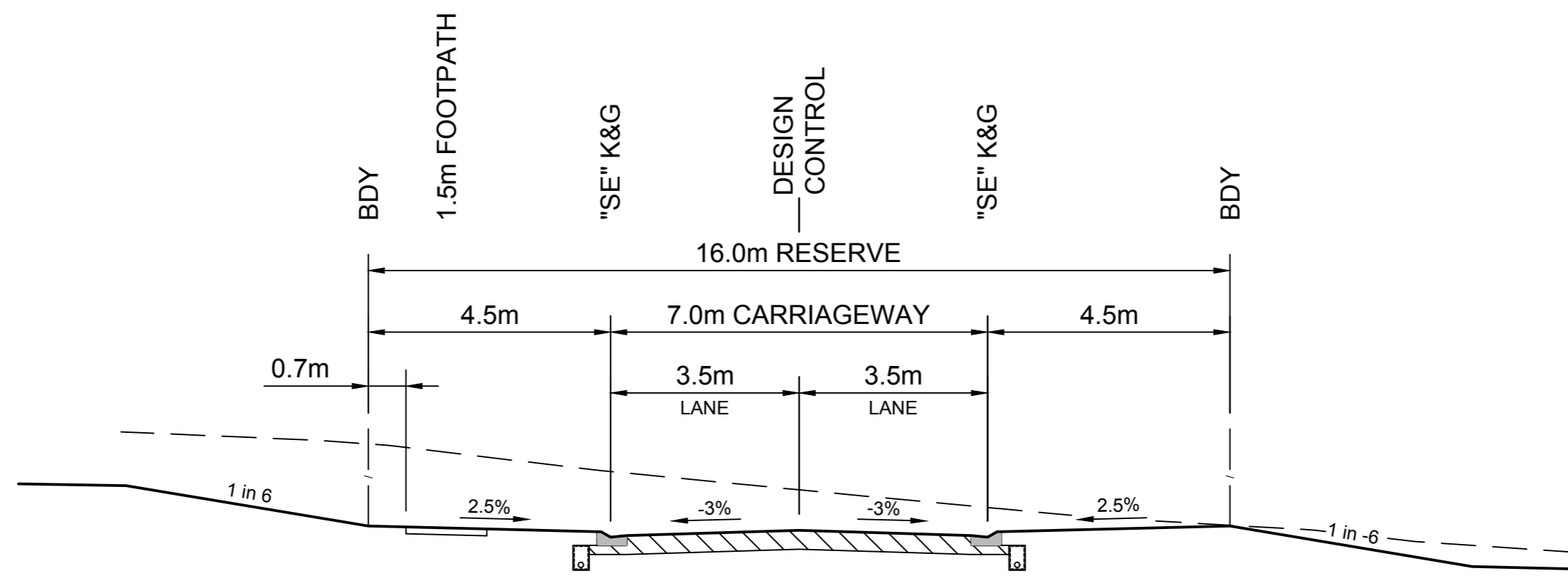
Hopkins Consultants Pty Ltd
JOJENI INVESTMENTS
WOODLANDS ESTATE
 LOT 33 DP 754405 - OCEAN DR, KEW
 DA 2025-97

WOODLANDS NORTH SUBDIVISION
TYPICAL ROAD SECTIONS
SECTIONS J, K, L & M
DA STAGES 1-4

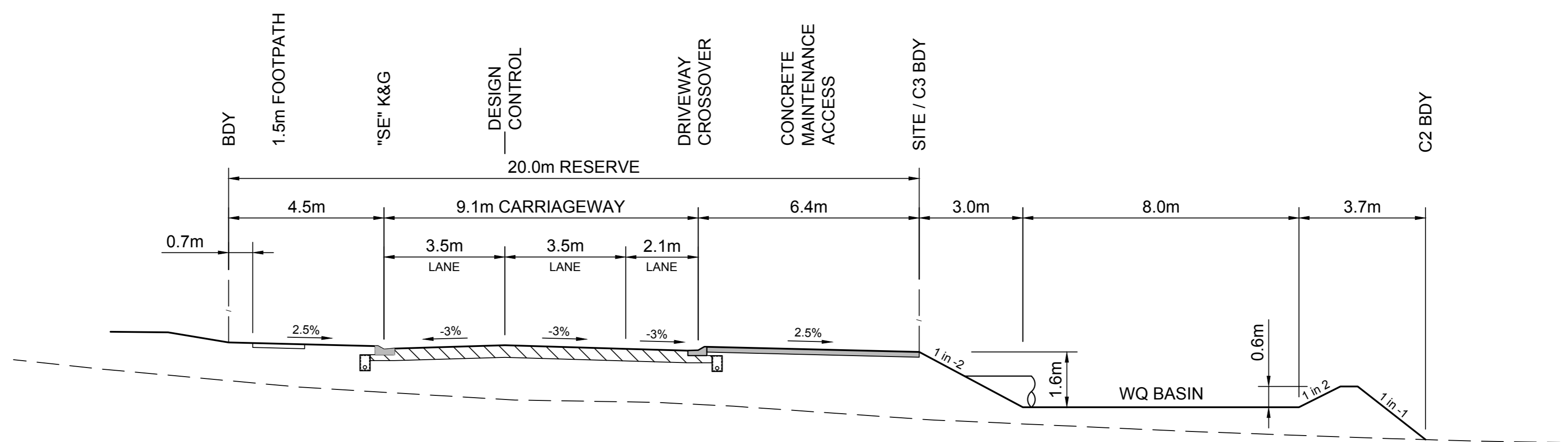
DRAWING NUMBER/REFERENCE		REV
6849-029-012		P
DESIGNER	ORIGIN OF LEVELS	P
KH	SSM 73593	
SURVEYOR	HEIGHT	A1
GG	RL 15.781	
DRAFTING	DATUM/GDA	A1
GA	AHD	
APPROVED	SCALE	A1
MM	AS SHOWN @ A1	



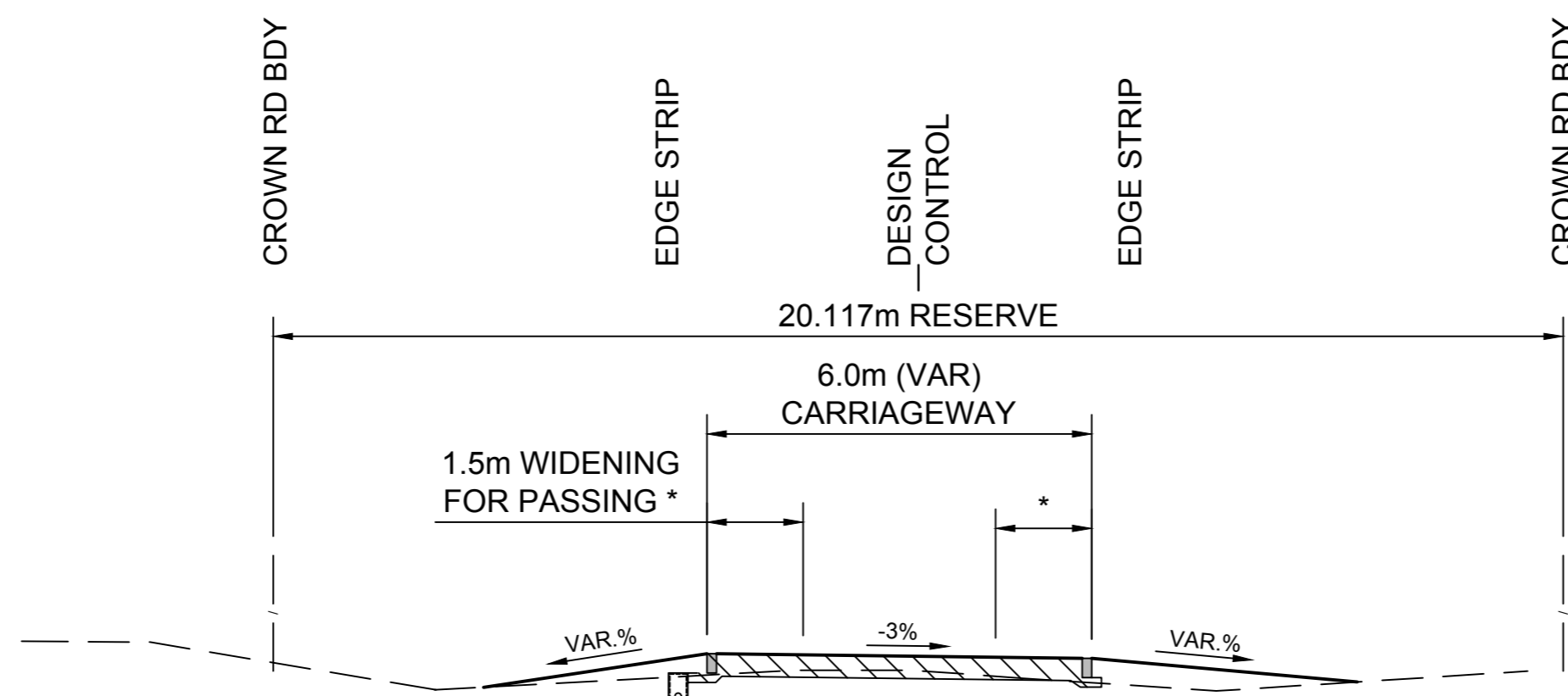
TYPICAL SECTION M - ROAD 08
INTERNAL ROAD (16m WIDE)
 SCALE 1:100



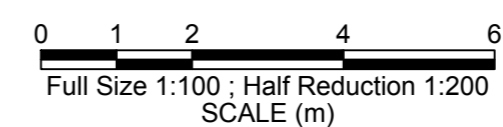
TYPICAL SECTION N - ROAD 09
INTERNAL ROAD (16m WIDE)
 SCALE 1:100



TYPICAL SECTION P - ROAD 04
INTERNAL ROAD (20m WIDE)
 SCALE 1:100



TYPICAL SECTION R - ROAD 10
EMERGENCY EXIT ROAD (20.117m WIDE)
 SCALE 1:100



DEVELOPMENT APPLICATION
 NOT FOR CONSTRUCTION

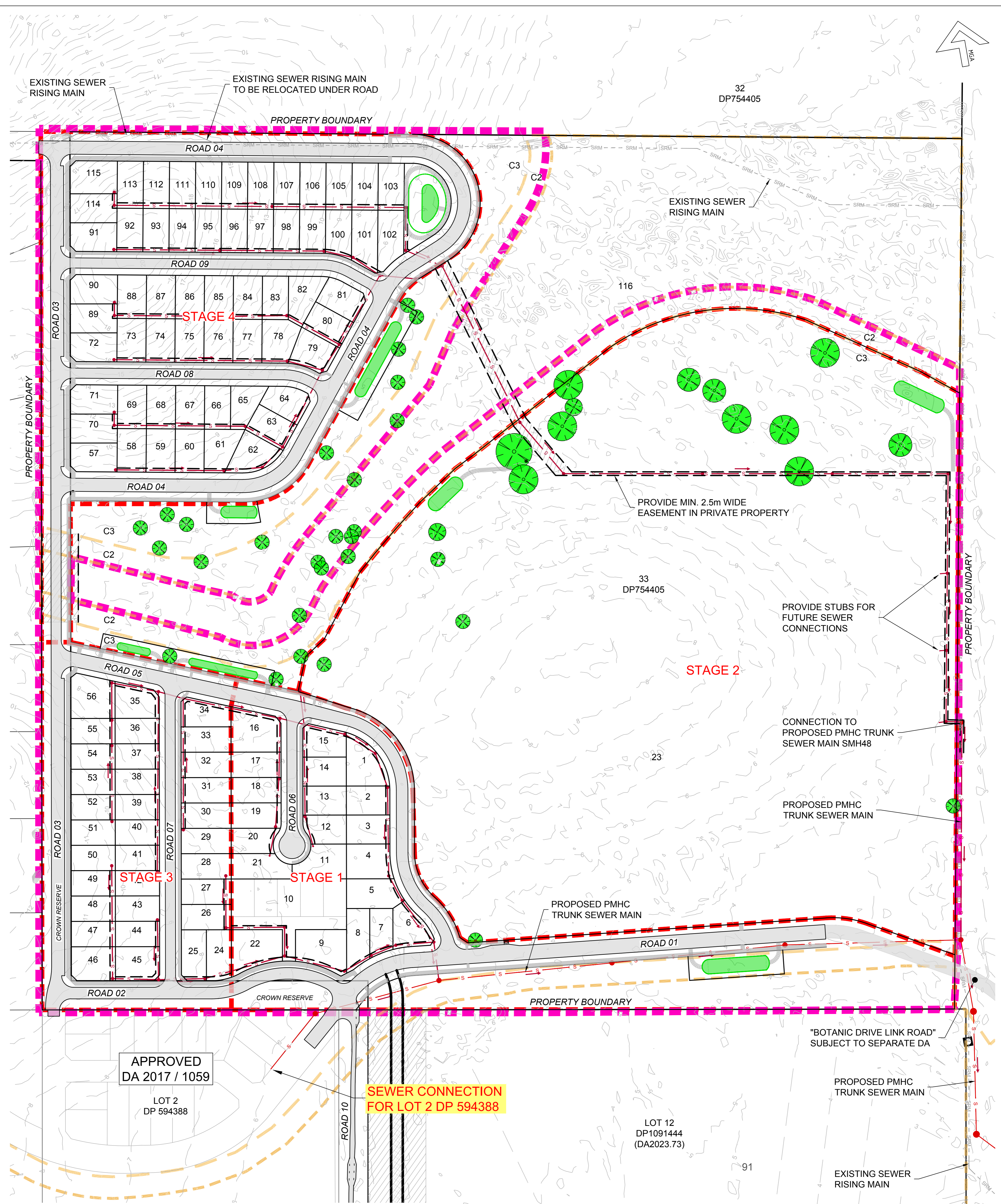
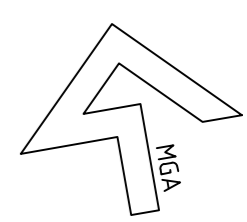
No.	DATE	REVISIONS	BY
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	26/09/2025	REVISED FOR DA APPROVAL	DG
P	28/05/2026	REISSUED FOR DA APPROVAL	WS

Hopkins
 SURVEYORS | CIVIL ENGINEERS | PLANNERS
 Hopkins Consultants Pty Ltd | ABN 27 055 060 878
 PO Box 1556 Port Macquarie NSW 2444
 T: 02 6583 6722 E: admin@hopcon.com.au
 W: www.hopkinsconsultants.com.au

© Hopkins Consultants Pty Ltd
JOJENI INVESTMENTS
WOODLANDS ESTATE
 LOT 33 DP 754405 - OCEAN DR, KEW
 DA 2025-97

WOODLANDS NORTH SUBDIVISION
TYPICAL ROAD SECTIONS
SECTIONS N & P
DA STAGES 1-4

DRAWING NUMBER/REFERENCE		REV
6849-029-013		P
DESIGNER	ORIGIN OF LEVELS	P
KH	SSM 73593	
SURVEYOR	HEIGHT	A1
GG	RL 15.781	
DRAFTING	DATUM/GDA	A1
GA	AHD	
APPROVED	SCALE	A1
MM	AS SHOWN @ A1	



APPROVED
DA 2017 / 1059
LOT 2
DP 594388

SEWER CONNECTION
FOR LOT 2 DP 594388

LOT 12
DP1091444
(DA2023.73)

LEGEND			
	STAGE BOUNDARY		PROPOSED EASEMENTS
	LIMIT OF WORK BOUNDARY		C3 ZONE BOUNDARY
	EXISTING SURFACE CONTOUR (0.5m INTERVAL)		C2 ZONE BOUNDARY
	PROPOSED SEWER & MANHOLE		PRESERVED TREES
	EXISTING SEWER RISING MAIN		

0 25 50 75
Full Size 1:1250 ; Half Reduction 1:2500
SCALE (m)

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	26/09/2025	REVISED FOR DA APPROVAL	DG
No.	DATE	REVISIONS	BY

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

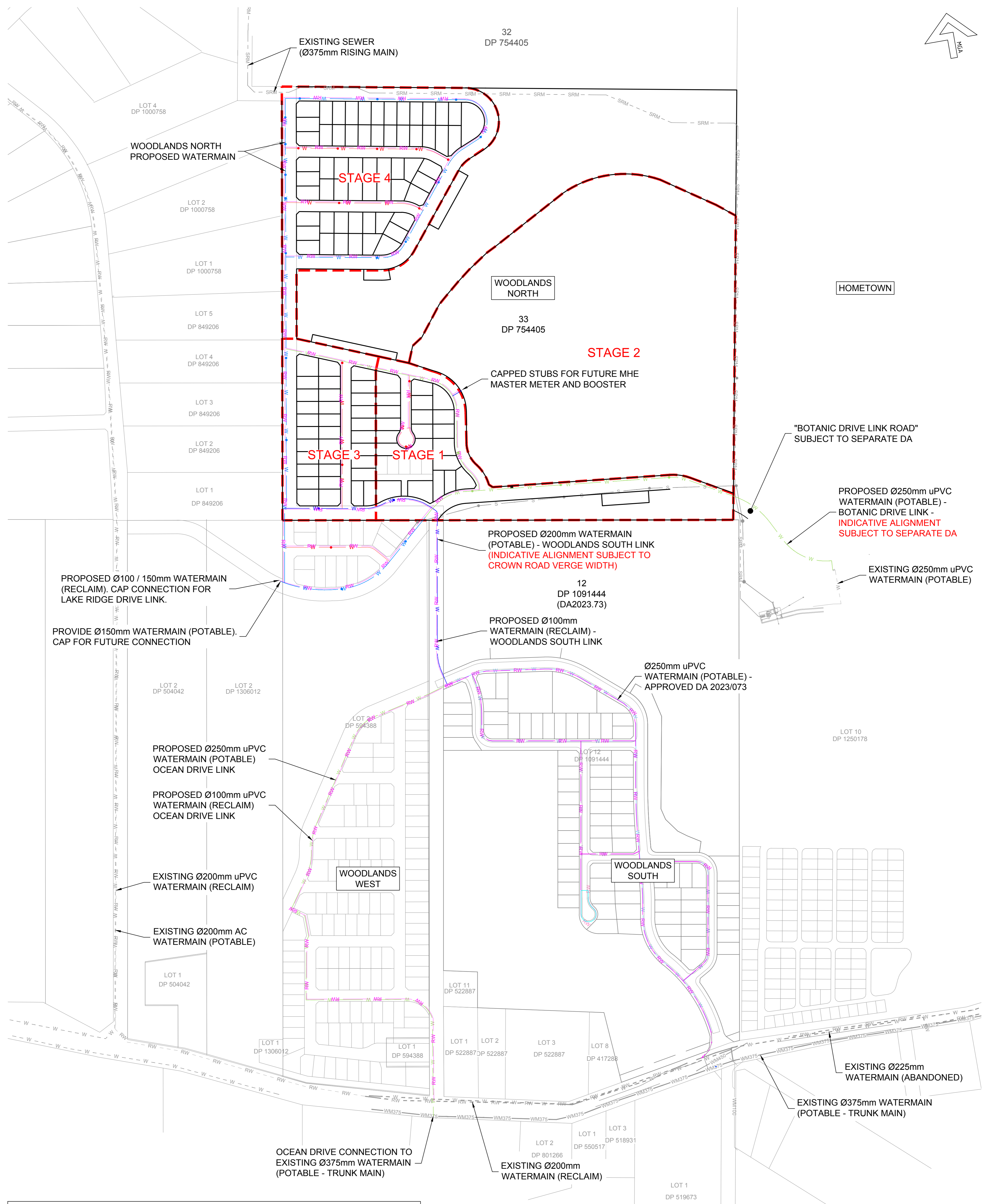
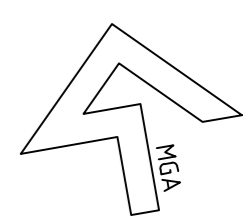
Hopkins Consultants Pty Ltd. ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

© Hopkins Consultants Pty Ltd
JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
SEWER RETICULATION CONCEPT

DA STAGES 1-4

DRAWING NUMBER/REFERENCE		
6849-029-014		
DESIGNER	ORIGIN OF LEVELS	REV
KH	SSM 73593	P
SURVEYOR	HEIGHT	
GG	RL 15.781	
DRAFTING	DATUM/GDA	SHEET SIZE
GA	AHD/GDA20	A1
APPROVED	SCALE	
MM	AS SHOWN @ A1	



PROPOSED Ø100 / 150mm WATERMAIN (RECLAIM). CAP CONNECTION FOR LAKE RIDGE DRIVE LINK.

PROVIDE Ø150mm WATERMAIN (POTABLE). CAP FOR FUTURE CONNECTION

PROPOSED Ø250mm uPVC WATERMAIN (POTABLE) OCEAN DRIVE LINK

PROPOSED Ø100mm uPVC WATERMAIN (RECLAIM) OCEAN DRIVE LINK

EXISTING Ø200mm uPVC WATERMAIN (RECLAIM)

EXISTING Ø200mm AC WATERMAIN (POTABLE)

PROPOSED Ø200mm WATERMAIN (POTABLE) - WOODLANDS SOUTH LINK (INDICATIVE ALIGNMENT SUBJECT TO CROWN ROAD VERGE WIDTH)

PROPOSED Ø100mm WATERMAIN (RECLAIM) - WOODLANDS SOUTH LINK

Ø250mm uPVC WATERMAIN (POTABLE) - APPROVED DA 2023/073

"BOTANIC DRIVE LINK ROAD" SUBJECT TO SEPARATE DA

PROPOSED Ø250mm uPVC WATERMAIN (POTABLE) - BOTANIC DRIVE LINK - INDICATIVE ALIGNMENT SUBJECT TO SEPARATE DA

EXISTING Ø250mm uPVC WATERMAIN (POTABLE)

EXISTING Ø225mm WATERMAIN (ABANDONED)

EXISTING Ø375mm WATERMAIN (POTABLE - TRUNK MAIN)

OCEAN DRIVE CONNECTION TO EXISTING Ø375mm WATERMAIN (POTABLE - TRUNK MAIN)

EXISTING Ø200mm WATERMAIN (RECLAIM)

LEGEND

	STAGE BOUNDARY		Ø250mm WATERMAIN (RECLAIM)
	Ø250mm WATERMAIN		EXISTING WATERMAIN (TRUNK)
	Ø200mm WATERMAIN		EXISTING WATERMAIN
	Ø150mm WATERMAIN		EXISTING WATERMAIN (RECLAIM)
	Ø100mm WATERMAIN		

NOTE:
WATER STRATEGY SHOWN INDICATIVE ONLY - SUBJECT TO DETAILED HYDRAULIC MODELING AT SWC STAGE

0 25 50 100 150
Full Size 1:2500 : Half Reduction 1:5000
SCALE (m)

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REISSUED FOR DA APPROVAL	DG

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

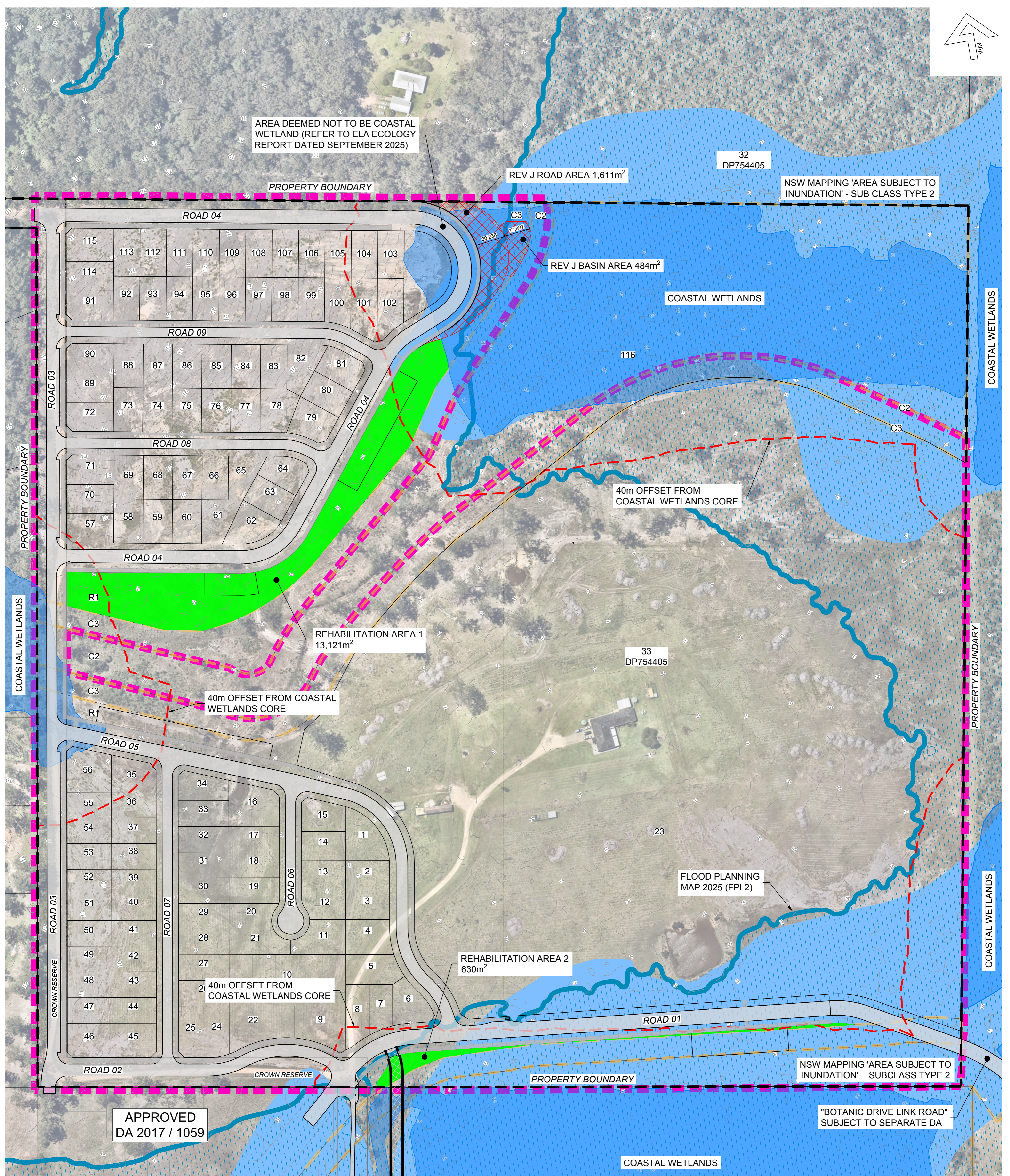
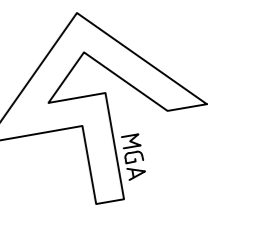
Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

© Hopkins Consultants Pty Ltd
JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
WATER SERVICE STRATEGY

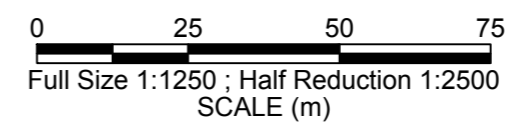
DA STAGES 1-4

DRAWING NUMBER/REFERENCE		
6849-029-015		
DESIGNER	ORIGIN OF LEVELS	REV
KH	SSM 73593	P
SURVEYOR	HEIGHT	
GG	RL 15.781	
DRAFTING	DATUM/GDA	SHEET SIZE
GA	AHD/GDA20	A1
APPROVED	SCALE	
MM	AS SHOWN @ A1	



LEGEND

- - - - LIMIT OF WORK BOUNDARY
- - - - PROPOSED EASEMENTS
- - - - EXISTING SURFACE CONTOUR (0.5m INTERVAL)
- APPROVED FEDERAL REHABILITATION AREA
- - - - C3 ZONE BOUNDARY
- COASTAL MANAGEMENT SEPP (R&H) 2021 COASTAL WETLANDS
- - - - C2 ZONE BOUNDARY
- LAND SUBJECT TO INUNDATION NSW SEED MAP (SUBCLASS TYPE 2)
- 1% AEP FLOOD LINE + CLIMATE CHANGE (FPL2) DEC 2025
- 40m COASTAL WETLANDS BUFFER
- COASTAL WETLANDS AVOIDANCE AREA (2,095m²)



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REVISIED FOR DA APPROVAL	DG

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

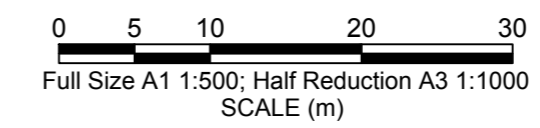
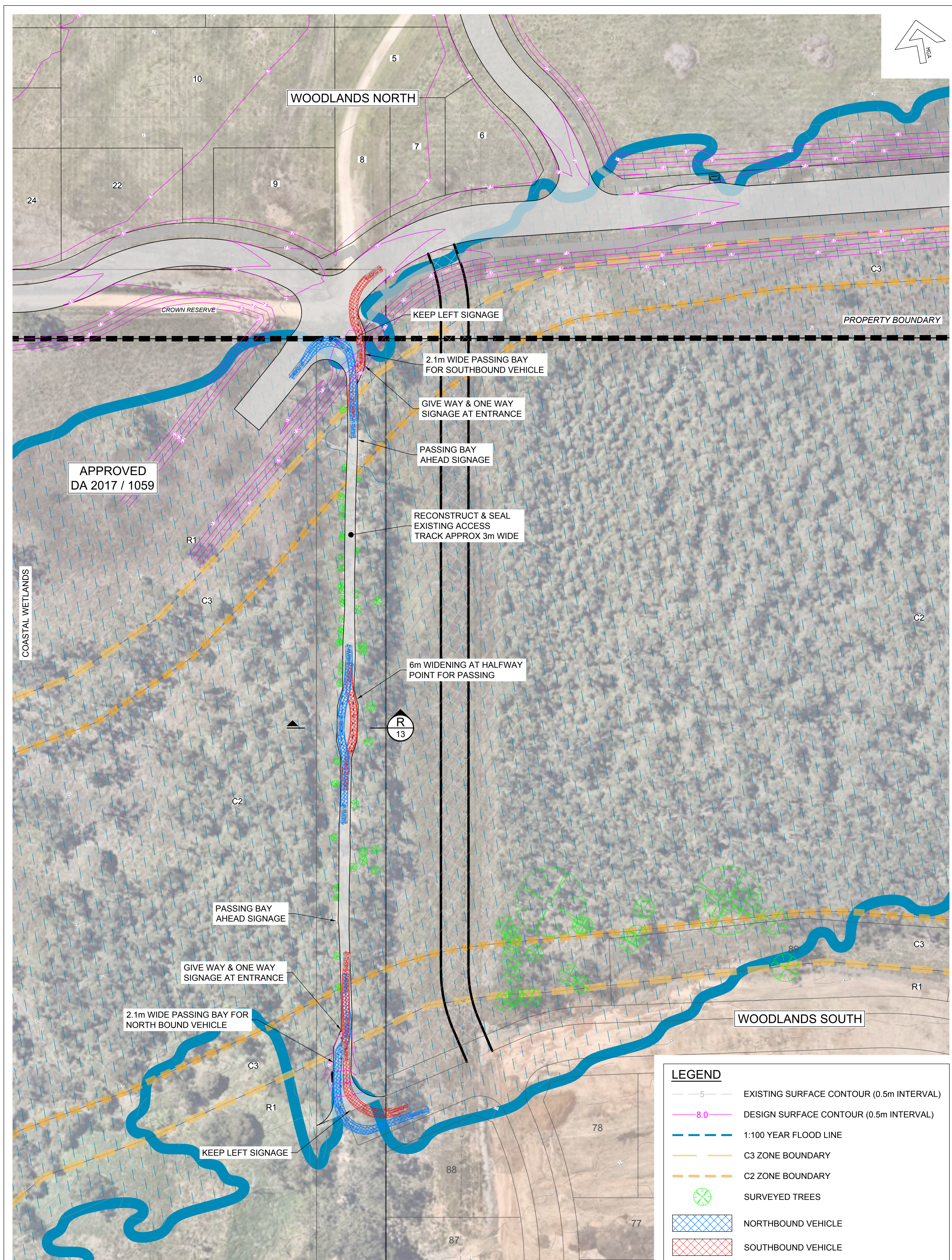
Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
COASTAL WETLANDS MAPPING

DA STAGES 1-4

DRAWING NUMBER/REFERENCE		REV
6849-029-016		P
DESIGNER	ORIGIN OF LEVELS	P
KH	SSM 73593	
SURVEYOR	HEIGHT	A1
GG	RL 15.781	
DRAFTING	DATUM/GDA	A1
GA	AHD/GDA20	
APPROVED	SCALE	
MM	AS SHOWN @ A1	



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REISSUED FOR DA APPROVAL	DG
No.	DATE	REVISIONS	BY

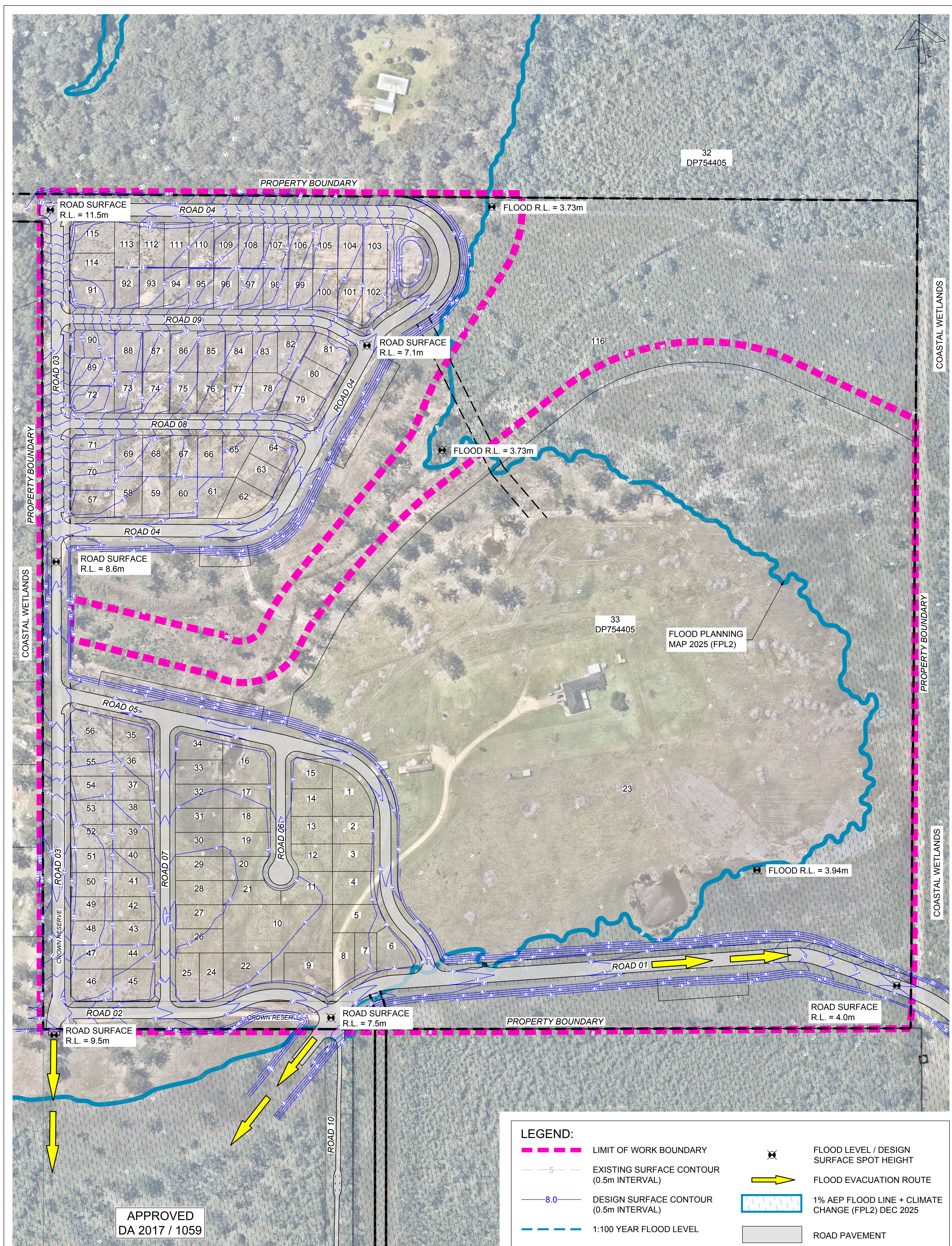
Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

© Hopkins Consultants Pty Ltd
JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
ONE WAY EMERGENCY
EGRESS ROAD
DETAILS & SECTION

DRAWING NUMBER/REFERENCE		REV
6849-029-017		P
DESIGNER	ORIGIN OF LEVELS	P
KH	SSM 73593	
SURVEYOR	HEIGHT	A1
GG	RL 15.781	
DRAFTING	DATUM/GDA	A1
GA	AHD/GDA20	
APPROVED	SCALE	A1
MM	AS SHOWN @ A1	



APPROVED
DA 2017 / 1059

LEGEND:	
	LIMIT OF WORK BOUNDARY
	EXISTING SURFACE CONTOUR (0.5m INTERVAL)
	DESIGN SURFACE CONTOUR (0.5m INTERVAL)
	1:100 YEAR FLOOD LEVEL
	FLOOD LEVEL / DESIGN SURFACE SPOT HEIGHT
	FLOOD EVACUATION ROUTE
	1% AEP FLOOD LINE + CLIMATE CHANGE (FPL2) DEC 2025
	ROAD PAVEMENT

0 25 50 75
Full Size 1:1250 : Half Reduction 1:2500
SCALE (m)

DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
P	28/05/2026	REISSUED FOR DA APPROVAL	WS
N	30/04/2026	LOT 56 DIMENSIONS UPDATED	CM
M	16/04/2026	WATER STRATEGY UPDATED	LR
L	04/03/2026	REISSUED FOR DA APPROVAL	LR
K	12/12/2025	REISSUED FOR DA APPROVAL	LR
J	17/11/2025	REISSUED FOR DA APPROVAL	LR
H	24/10/2025	REISSUED FOR DA APPROVAL	WS
G	28/09/2025	REVISED FOR DA APPROVAL	DG
No.	DATE	REVISIONS	BY

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS
Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

© Hopkins Consultants Pty Ltd
JOJENI INVESTMENTS
WOODLANDS ESTATE
LOT 33 DP 754405 - OCEAN DR, KEW
DA 2025-97

WOODLANDS NORTH SUBDIVISION
FLOOD EVACUATION PLAN

DA STAGES 1-4

DRAWING NUMBER/REFERENCE		
DESIGNER	ORIGIN OF LEVELS	REV
KH	SSM 73593	P
SURVEYOR	HEIGHT	
GG	RL 15.781	
DRAFTING	DATUM/GDA	SHEET SIZE
WS	AHD/GDA20	A1
APPROVED	SCALE	
MM	AS SHOWN @ A1	



DRAWING LIST		
DRAWING #	DESCRIPTION	REV
6589-2-073-01	PROPOSED SITE LOCALITY AND ACCESS PLAN	A
6589-2-073-02	GENERAL NOTES	A
6589-2-073-03	ZONE INFORMATION, WETLANDS OFFSETS & EXTENT OF WORKS PLAN	A
6589-2-073-04	STOCKPILE & BASIN DETAIL PLAN & EROSION AND SEDIMENT CONTROL PLAN	A
6589-2-073-05	SEDIMENT BASIN & OUTLET DETAILS & STOCKPILE BATTER SECTIONS	A

**DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION**

Liability limited by a scheme approved under Professional Standards Legislation

No.	DATE	REVISIONS	BY
A	15/08/2025	ISSUED FOR DA APPLICATION	GA

JOJENI INVESTMENTS PTY LTD
WOODLANDS ESTATE (NORTH)
 OCEAN DRIVE, LAKEWOOD



Hopkins Consultants Pty Ltd ABN 27 055 060 878 PO Box 1556 Port Macquarie NSW 2444
 T: 02 6583 6722 E: admin@hopcon.com.au W: www.hopkinsconsultants.com.au

WOODLANDS NTH EARTHWORKS STOCKPILE DA
PROPOSED SITE LOCALITY AND ACCESS PLAN
LOT 33 DP 754405

DRAWING NUMBER/REFERENCE		
DESIGNER	ORIGIN OF LEVELS	REV.
DG	SSM16721	A
SURVEYOR	HEIGHT	
GG	RL 20.923	
DRAFTING	DATUM/GDA	SHEET SIZE
GA	AHD/2020	A1
APPROVED	SCALE	
DG	AS SHOWN	

GENERAL

- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED RELATING TO DEVELOPMENT OF THE SUBJECT SITE.
- DO NOT OBTAIN DIMENSIONS BY SCALING THE DRAWINGS.
- IN CASE OF DOUBT OR DISCREPANCY REFER TO SUPERINTENDENT FOR CLARIFICATION OR CONFIRMATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
- MAKE SMOOTH TRANSITION TO EXISTING FEATURES AND MAKE GOOD WHERE JOINED.
- THESE PLANS SHALL BE READ IN CONJUNCTION WITH ALL APPROVED DRAWINGS AND SPECIFICATIONS PREPARED BY OTHER PROJECT CONSULTANTS.
- IT IS THE CONTRACTORS RESPONSIBILITY TO ASCERTAIN IN THE FIELD THE LOCATION AND LEVEL OF ALL EXISTING SERVICES (TELSTRA, UNDERGROUND POWER, SEWER, WATER, ETC.) AND ANY OTHER FEATURE OR STRUCTURE LIKELY TO BE AFFECTED BY THE WORKS AND TO TAKE APPROPRIATE MEASURES TO ENSURE NO DAMAGE THERETO. ANY DAMAGE SHALL BE MADE GOOD AT NO COST TO THE PROPRIETOR.
- LOCATION OF ALL DRAINAGE LINES WITHIN EASEMENTS TO BE FIXED AND VERIFIED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
- SUBSOIL DRAINAGE IS GENERALLY REQUIRED WHERE DEPTH TO ROAD SUBGRADE FROM NATURAL SURFACE IS 400mm OR MORE. INSTALL A 3m LENGTH OF SUBSOIL DRAIN ON THE UPSTREAM SIDE OF ALL DRAINAGE PITS WITH AN UPSTREAM PIPE.
- SURFACE CUT-OFF DRAINS, AND OTHER MEASURES AS REQUIRED, TO BE CONSTRUCTED FOR EROSION AND SILTATION CONTROL PRIOR TO COMMENCEMENT OF EARTHWORKS, SUCH MEASURES TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION PERIOD.
- STREET LIGHTING TO COMPLY WITH SPECIFICATION OF PUBLIC LIGHTING CODE (AS1158).
- PROVIDE 900mm OF TURF BEHIND KERB AND GUTTER.
- ALL WORKS IN ACCORDANCE WITH AUS-SPEC No.1 PORT MACQUARIE HASTINGS COUNCIL VERSION 2003 EDITION.
- ALL WORKS WITHIN ROAD RESERVE TO BE CARRIED OUT BY A COUNCIL REGISTERED CONTRACTOR
- TRAFFIC CONTROL TO AS1742.3
- CONTRACTOR TO TAKE APPROPRIATE DUST SUPPRESSION MEASURES AS NECESSARY TO PREVENT DISTURBANCE TO ADJOINING RESIDENCES.
- ALL FILLING WORKS SHALL BE CONTROLLED FILL AS DEFINED IN AS2870 AND AS3780
- TRAFFIC MANAGEMENT PLAN BY CONTRACTOR IN ACCORDANCE WITH AS1742.3

EXISTING SERVICES

- ALL UTILITY SERVICES INDICATED ON THE DRAWINGS ORIGINATE FROM SUPPLIED DATA, THEREFORE THEIR ACCURACY AND COMPLETENESS IS NOT GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE AND CONFIRM THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
- CARE TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER COMMUNICATION, GAS OR ELECTRICAL SERVICES, HAND EXCAVATION ONLY IN THESE AREAS.
- THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING SERVICES THAT ARE TO BE RETAINED IN THE VICINITY OF THE PROPOSED WORKS. ANY AND ALL DAMAGE TO THESE SERVICES AS A RESULT OF THESE WORKS SHALL BE REPAIRED BY THE CONTRACTOR UNDER THE DIRECTION OF THE SUPERINTENDENT, AND AT NO EXTRA COST.
- THE CONTRACTOR SHALL ALLOW IN THE PROGRAM FOR ADJUSTMENT (IF REQUIRED) OF EXISTING SERVICES IN AREAS AFFECTED BY WORKS.
- THE CONTRACTOR SHALL ALLOW IN THE PROGRAM FOR THE CAPPING OFF, EXCAVATION AND REMOVAL (IF REQUIRED) OF EXISTING SERVICES IN AREA AFFECTED BY WORKS UNLESS DIRECTED OTHERWISE ON THE DRAWINGS OR BY THE SUPERINTENDENT.
- THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED.
- PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN APPROVAL OF THE PROGRAM FOR THE RELOCATION AND/OR CONSTRUCTION OF TEMPORARY SERVICES AND FOR ANY ASSOCIATED INTERRUPTION OF SUPPLY.
- THE CONTRACTOR SHALL CONSTRUCT TEMPORARY SERVICES TO MAINTAIN EXISTING SUPPLY TO BUILDINGS REMAINING IN OPERATION DURING WORKS TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL REMOVE ALL SUCH TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.

ACCESS AND SAFETY

- THE CONTRACTOR SHALL COMPLY WITH ALL STATUTORY AND INDUSTRIAL REQUIREMENTS FOR PROVISION OF A SAFE WORKING ENVIRONMENT INCLUDING TRAFFIC CONTROL.
- THE CONTRACTOR SHALL ENSURE THAT AT ALL TIMES ACCESS TO ALL BUILDINGS ADJACENT THE WORKS IS NOT DISRUPTED.
- WHERE NECESSARY THE CONTRACTOR SHALL PROVIDE SAFE PASSAGE OF VEHICLES AND/OR PEDESTRIANS THROUGH OR BY THE SITE.

ACID SULPHATE SOIL TESTING

- IMPORTED FILL IS TO BE TESTED FOR POTENTIAL ACID SULPHATE AND ALL TESTING IS TO BE CARRIED OUT BY NATA LAB.
- WHERE POTENTIAL ASS IS DETECTED NEUTRALISATION IS REQUIRED USING LIME MIXED THOROUGHLY WITH THE IMPORTED FILL IN ACCORDANCE WITH AUS-SPEC 2003.
- TEST AGENCY TO CONFIRM QUANTITY OF LIME IN kg/cubic m
- ALL LEACHATE TO BE CONTROLLED AND PREVENTED FROM ENTERING NATURAL WATERWAYS

EROSION AND SEDIMENT CONTROL NOTES

- EROSION AND SEDIMENT CONTROL TO BE IN ACCORDANCE WITH BLUE BOOK
- NO DISTURBED AREA IS TO REMAIN DENUDED LONGER THAN 60 DAYS.
- ALL EROSION AND SILTATION CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
- ALL STORMWATER AND SEWER LINES NOT IN STREETS ARE TO BE MULCHED AND SEEDED WITHIN 15 DAYS AFTER BACKFILL. ELECTRIC POWER, TELEPHONE AND GAS SUPPLY TRENCHES ARE TO BE COMPACTED, SEEDED AND MULCHED WITHIN 15 DAYS AFTER BACKFILL.
- ALL TEMPORARY EARTH BANKS, DIVERSIONS AND SEDIMENT DAM EMBANKMENTS ARE TO BE MACHINE-COMPACTED, SEEDED AND MULCHED FOR TEMPORARY VEGETATIVE COVER WITHIN 10 DAYS AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED.
- ALL FILLS ARE TO BE LEFT WITH A LIP AT THE TOP OF THE SLOPE AT THE END OF EACH DAYS OPERATION.
- ALL CUT AND FILL SLOPES ARE TO BE SEEDED AND MULCHED WITHIN 10 DAYS OF COMPLETION OF GRADING.
- ALL DISTURBED AREAS TO BE STABILISED AND/OR REVEGETATED WITHIN 14 DAYS OF EARTHWORKS COMPLETION, USING TURF OR THE FOLLOWING SEED AND FERTILISER MIXTURE:

	SPRING/SUMMER	AUTUMN/WINTER
JAPANESE MILLET	15kg/ha	5kg/ha
RYECORN/OATS	5kg/ha	15kg/ha
COUCH GRASS	10kg/ha	8kg/ha
PERENNIAL RYEGRASS	5kg/ha	10kg/ha
STARTER FERTILISER (SOWING)	300kg/ha	300kg/ha
MAINTENANCE FERTILISER (FOLLOWING SPRING/AUTUMN)	100kg/ha	100kg/ha

SITE REGRADING GENERALLY

- SITE REGRADING AREAS AS PER SPECIFICATION.
- TOPSOIL TO BE STRIPPED, STOCKPILED AND TO BE USED ON SITE AS DIRECTED. NO TOPSOIL TO BE REMOVED FROM SITE.
- CUT AND FILL SITE, COMPACTING FILL TO ACHIEVE A RELATIVE DENSITY OF AT LEAST 98% OF STANDARD COMPACTION. (A.S. 1289 TEST E1.1)
- ENSURE EROSION CONTROL AND FILTER FENCES MAINTAINED AT ALL TIMES.
- SUBSOIL DRAINAGE REQUIREMENTS ARE TO BE VERIFIED WITH THE GEOTECHNICAL ENGINEER PRIOR TO FILLING WORK COMMENCING.
- ON COMPLETION OF ALL FILLING, THE CONTRACTOR IS TO ARRANGE AT HIS COST A GEOTECHNICAL REPORT BY A QUALIFIED ENGINEER.
- ALL FILLING SHALL BE CARRIED OUT AS CONTROLLED FILL AS DEFINED IN AS2870 AND AS3780

SITE REGRADING TO BUILDING PADS

- TOPSOIL TO BE STRIPPED, STOCKPILED AND TO BE USED ON SITE AS DIRECTED. NO TOPSOIL TO BE REMOVED FROM SITE.
- BUILDING EARTHWORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS3798
- ALL FILLING SHALL BE CARRIED OUT AS "CONTROLLED FILL" AS DEFINED IN AS2870. MATERIAL THAT HAS BEEN PLACED AND COMPACTED IN LAYERS BY COMPACTION EQUIPMENT WITHIN A DEFINED MOISTURE RANGE TO A DEFINED DENSITY REQUIREMENT IN ACCORDANCE WITH AUS-SPEC (98% COMPACTION UNLESS SPECIFIED OTHERWISE - AS1289 TEST E1.1)
- RAFT SLABS, AS FOR CLASS M SITE CAN PROVIDE A SUITABLE FOUNDATION SO LONG AS THE FOLLOWING SITE PREPARATION IS UNDERTAKEN:-
 - STRIP TOPSOIL (150mm) FROM CUT AND FILL AREAS.
 - STRIP A FURTHER 400mm THICKNESS FROM AREAS TO BE FILLED. STOCKPILE FOR REUSE AS FILL.
 - BENCH FILL AREA TO ALLOW FILL TO BE PLACED IN RELATIVELY HORIZONTAL LAYERS (OF NO MORE THAN 200mm LOOSE THICKNESS.)
 - CUT AND FILL SITE, COMPACTING FILL TO ACHIEVE A RELATIVE DENSITY OF AT LEAST 98% OF STANDARD COMPACTION (A.S. 1289 TEST E1.1)
 - WHERE CUT DEPTH IS LESS THAN 900mm, OVER EXCAVATE TO REMOVE MATERIAL DOWN TO 200mm BELOW DESIGN SURFACE AND REPLACE IN COMPACTED LAYERS TO ACHIEVE THE ABOVE COMPACTION.
- IN ALL BUILDING WORKS ADEQUATE DRAINAGE SHALL BE PROVIDED AROUND THE UPHILL SIDES OF THE BUILDING.
- SUBSOIL DRAINAGE REQUIREMENTS ARE TO BE VERIFIED WITH THE GEOTECHNICAL ENGINEER PRIOR TO FILLING WORK COMMENCING
- ON COMPLETION OF ALL FILLING, THE CONTRACTOR IS TO ARRANGE AT HIS COST A GEOTECHNICAL REPORT BY A QUALIFIED ENGINEER.
- ENSURE EROSION CONTROL AND FILTER FENCES MAINTAINED AT ALL TIMES.
- TOLERANCES - EARTHWORKS TOLERANCES TO BUILDING PADS SHALL BE ±50mm.

FILLING AND COMPACTION NOTES

- STRIP SURFACE OF TOPSOIL AND ORGANIC MATERIAL TO A MINIMUM DEPTH OF 150mm.
- FILL AND COMPACT IN LAYERS NOT EXCEEDING 200mm AND COMPACT TO 98% SDD.
- PROVIDE COMPACTION TESTING FOR EVERY SECOND LAYER OR AS DIRECTED BY SUPERINTENDENT.
- USE ONLY SELECTED FILL, FREE OF ORGANIC MATERIAL, ROOTS AND TIMBER. SELECTED FILL TO BE APPROVED BY SUPERINTENDENT.

STORMWATER DRAINAGE NOTES

- ALL DRAINAGE STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH AUS-SPEC, HASTINGS COUNCIL VERSION 2003 EDITION.
- PRECAST PITS ARE NOT APPROVED FOR USE IN ROAD RESERVE AND ARE ONLY PERMITTED FOR USE IN NON TRAFFICABLE INTERALLOTMENT LOCATIONS.
- CONCRETE TO BE 25 MPa, 80 SLUMP.
- ALL PIPES TO BE RUBBER RING JOINED.
- CLASS S88 POLYPROPYLENE PIPE, (STORMPRO, BLACKMAX OR EQUIVALENT), MAY BE SUBSTITUTED FOR RCP FOR ≤ 600mm DIAMETER. THE CONTRACTOR SHALL PROVIDE WAE DETAILS - LINE SHEETS TO CONFIRM MATERIALS USED.
- THE CONTRACTOR SHALL ENSURE THAT ACCESS TO PRIVATE PROPERTY IS MAINTAINED AT ALL TIMES.
- ANY CHANGE TO PUBLIC UTILITIES OR ROADWORKS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL LOCATE, AT NO ADDITIONAL COST TO THE OWNER, ALL UTILITIES AND SERVICES PRIOR TO EXCAVATION.
- COMPRESSIVE STRENGTH F_c FOR CAST IN SITU CONCRETE TO BE A MINIMUM OF 20MPa AT 28 DAYS
- ALL DIMENSIONS ARE IN MILLIMETRES
- PROVIDE F82 MESH CENTRALLY PLACED TO WALLS OF PITS > 1.5m DEEP. 50mm MIN. COVER RETURN MESH 300mm INTO BASE AND SIDES
- ALL STEEL WORK SHALL BE HOT DIP GALVANISED IN ACCORDANCE WITH AS 1650
- EXPANSION JOINTS TO BE 15mm WIDE FOR FULL DEPTH OF KERB AND GUTTER, WITH JOINT BEING OF A PREFORMED MATERIAL OF BITUMINOUS FIBREBOARD
- MAX DEPTH PIT 3500mm
- PROVIDE MIN. 50mm DROP THROUGH PIT.

SEDIMENT BASIN (CALCULATIONS FOR 1% SLOPE)

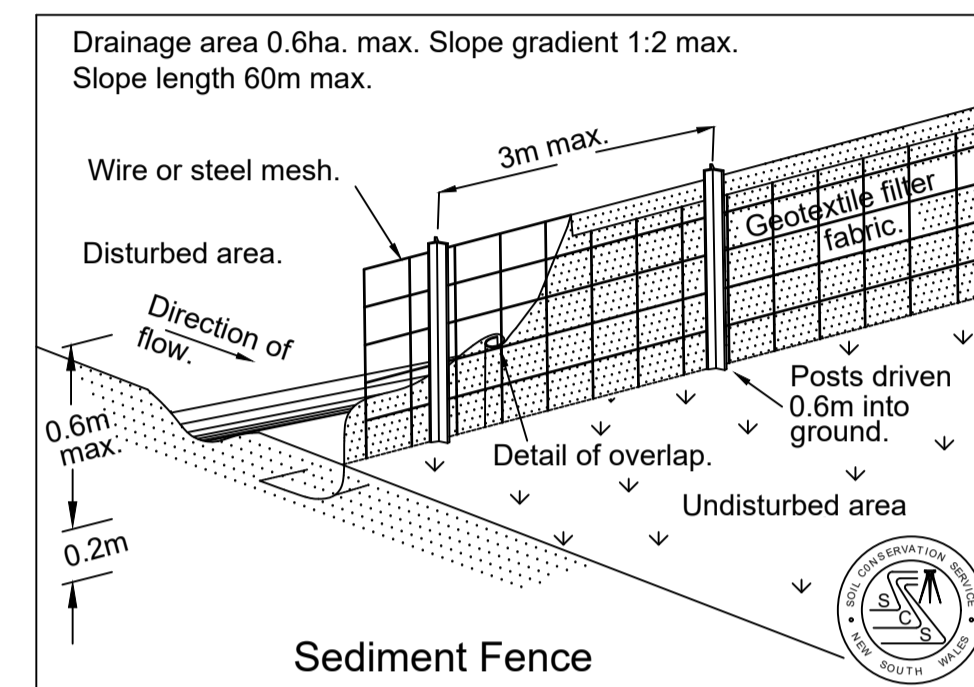
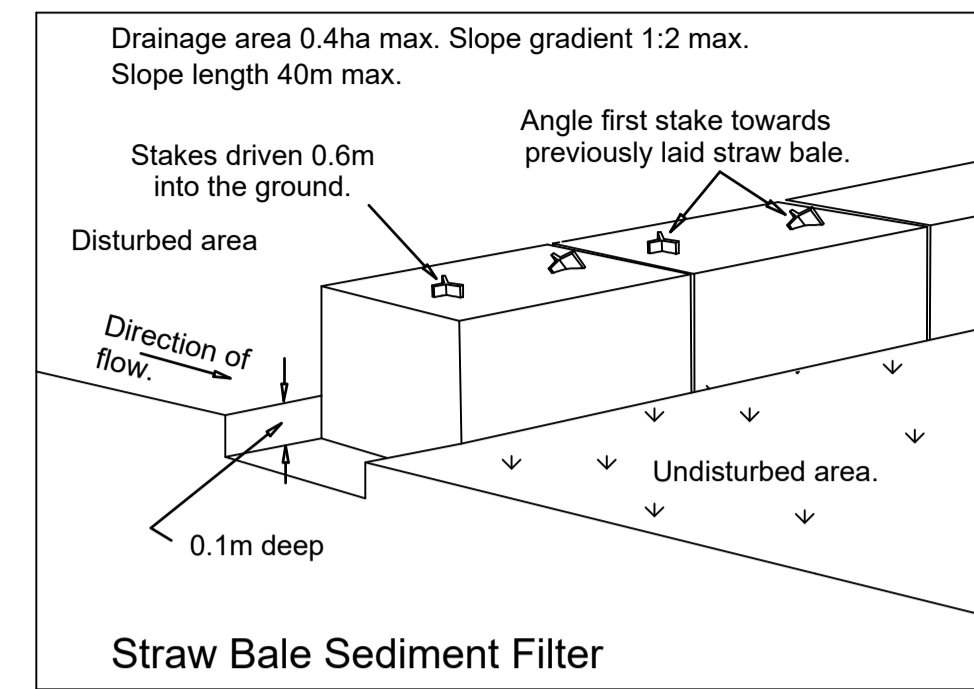
- 2 Year ARI, 6 HR STORM EVENT = 13.2mm/hr
- R = 374
- SOIL ERODIBILITY FACTOR (K) = 0.025
- SLOP LENGTH GRADIENT FACTOR (LS) = 0.23
- EROSION CONTROL PRACTICE FACTOR (P) = 0.8
- GROUND COVER (C) = 1
- SOIL LOSS (A) = 17 tonnes/ha/yr
- DISTURBED AREA = 2.226 ha
- SEDIMENT STORAGE ZONE VOLUME (V) = 12.5m³
- VOLUMETRIC RUNOFF COEFFICIENT (C_v) = 0.7
- CATCHMENT AREA (A) = 2.226ha
- y PERCENTILE, 5 DAY (R) = 32mm
- SEDIMENT SETTLING VOLUME (V) = 498.6m³
- TOTAL BASIN STORAGE (1%) 511.1m³

SITE MANAGEMENT PLAN

- EARTHWORKS CONSTRUCTION METHODOLOGY IS AS FOLLOWS:
 - PHASE 1 WILL CONSIST OF EXCAVATION OF THE SEDIMENT BASIN AND ESTABLISHMENT OF INITIAL SEDIMENT FENCING, STRAW BALE FILTERS AND TOP OF BANK DIVERSION DRAINS
 - PHASE 2 WILL BE A GRADUAL FILLING THROUGH THE LOW LYING 'VALLEY' OF THE SITE AS SUITABLE FILL MATERIAL BECOMES AVAILABLE.
 - DURING PHASE 2, THE SEDIMENT AND EROSION CONTROLS ARE TO BE ESTABLISHED AS APPROPRIATE TO THE EXTENT OF FILLING. AS THE VOLUME OF FILL INCREASES, SEDIMENT AND EROSION CONTROLS ARE TO BE UPDATED AS REQUIRED OR MAINTAINED ON A MONTHLY BASIS, WHICHEVER OCCURS SOONER.
 - PHASE 3 WILL CONSISTS OF THE ESTABLISHMENT OF FINAL SEDIMENT AND EROSION CONTROLS AND STABILISATION OF DISTURBED AREAS THROUGH SEEDING, MULCHING ETC. PHASE 3 WILL CONCLUDE AFTER A MINIMUM OF 3 YEARS OF THE COMMENCEMENT OF FURTHER DEVELOPMENT, WHICHEVER OCCURS SOONER
- THE DURATION OF WORKS WILL BE DETERMINED BY THE AVAILABILITY OF SUITABLE FILL MATERIAL.
- THE SEDIMENT BASIN IS DESIGNED FOR THE 2 YEAR, 6HR STORM EVENT WITH A CENTRE SPILLWAY (AS PER SD 6-1) AND RISER PIPE (AS PER SD 6-3). MITIGATION FOR LARGER STORM EVENTS INCLUDE DOWNSTREAM SEDIMENT FENCES & STRAW BALE FILTERS. MONTHLY MAINTENANCE INSPECTIONS (MINIMUM) WILL ENSURE THAT ANY DAMAGE AFTER SIGNIFICANT RAINFALL EVENTS WILL BE RECTIFIED AND CONTROLS RE-ESTABLISHED

WET WEATHER CONTINGENCY PLAN

- THE CONTRACTOR IS TO ADOPT A WET WEATHER & ELEVATED FLOW CONTINGENCY PLAN DURING WORKS. THE PLAN SHOULD ALIGN WITH THE PRINCIPLES OF THE NSW BLUE BOOK & ENCOMPASS THE FOLLOWING:
 - PRE WET WEATHER INSPECTIONS APPROX 24HRS BEFORE MAJOR EVENT. ENSURING ALL CONTROLS ARE IN PLACE AND IN GOOD WORKING ORDER.
 - MAINTAIN STOCKPILES OF CONTROL MATERIALS (SAND BAGS, TARPS, GEOTEX, SCOUR PROTECTION ETC)
 - INSPECTIONS DURING OR IMMEDIATELY AFTER RAIN EVENTS. BE PREPARED TO DEPLOY ADDITIONAL CONTROLS OR REPAIR EXISTING.
 - CONTINUOUSLY MONITOR QUALITY AND QUANTITY OF RUNOFF
 - ASSESS & REMEDIATE SITE AND CONTROL MEASURES ONCE SITE IS ACCESSIBLE. THIS MAY INCLUDE NEW DIVERSION DRAINS, SEDIMENT FENCES, PROTECTIONS TO STOCKPILES ETC.
 - REVIEW & UPDATE CONTROLS AS REQUIRED
 - NOTIFY & REPORT EXCESS POLLUTION TO MID COAST COUNCIL & CLIENT IN THE FIRST INSTANCE



Liability limited by a scheme approved under Professional Standards Legislation

A	15/08/2025	ISSUED FOR DA APPLICATION	GA
No.	DATE	REVISIONS	BY

Cad File: S:\Projects\6849-2 Woodlands NTH\DWGS\PLANNING\6849-073.dwg, Layout: DA02, Plotted By: David, Date: 15/08/25 - 10:57.

JOJENI INVESTMENTS PTY LTD
WOODLANDS ESTATE
OCEAN DRIVE, LAKEWOOD



Hopkins Consultants Pty Ltd ABN 27 055 060 878 PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au W: www.hopkinsconsultants.com.au

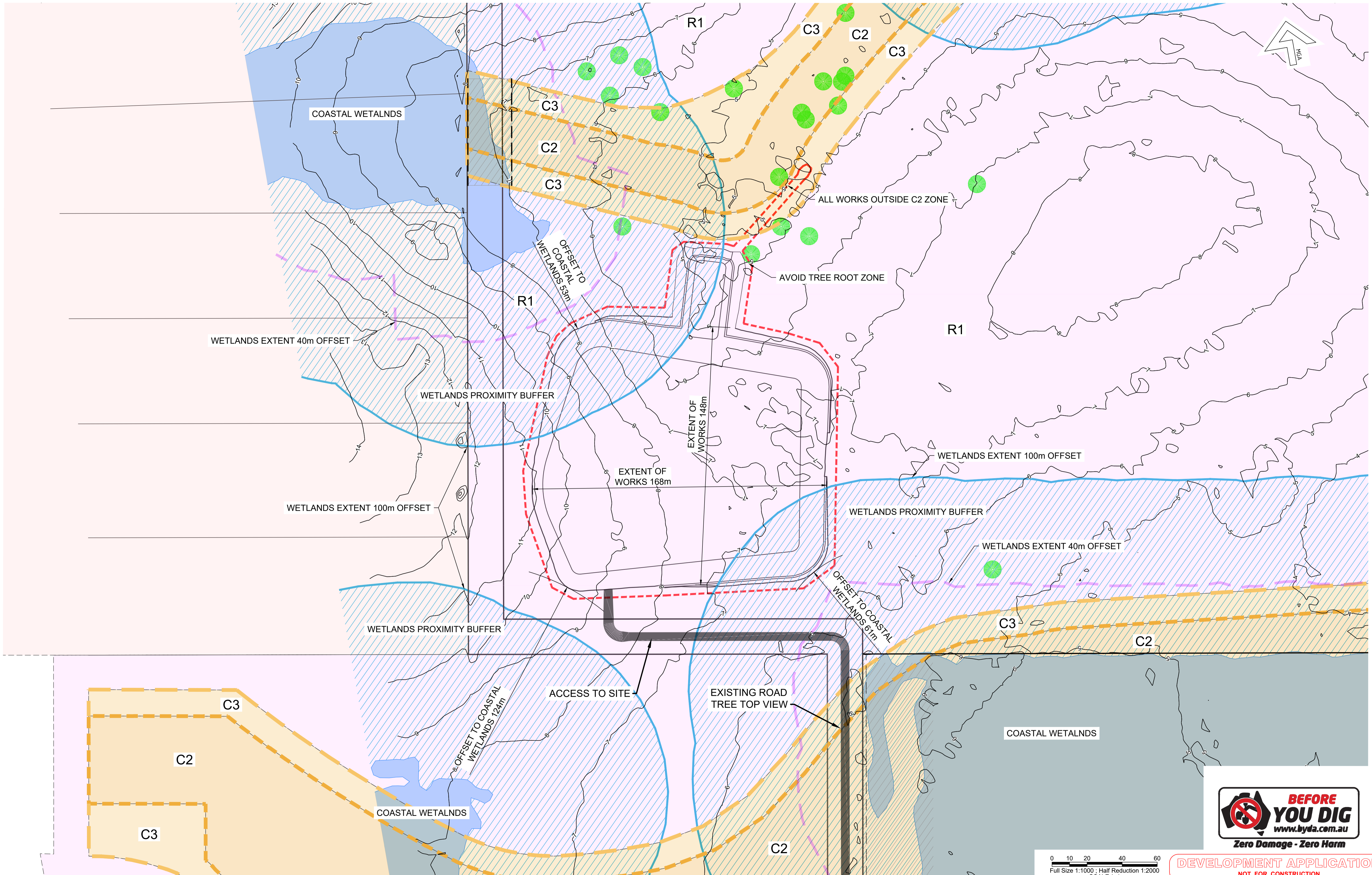
WOODLANDS NTH EARTHWORKS STOCKPILE DA

GENERAL NOTES



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

DRAWING NUMBER/REFERENCE		6849-073-02
DESIGNER	ORIGIN OF LEVELS	REV.
DG	SSM16721	A
SURVEYOR	HEIGHT	
GG	RL 20.923	
DRAFTING	DATUM/GDA	SHEET SIZE
GA	AHD/2020	A1
APPROVED	SCALE	
DG	AS SHOWN	



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Liability limited by a scheme approved under Professional Standards Legislation

No.	DATE	REVISIONS	BY
A	15/08/2025	ISSUED FOR DA APPLICATION	GA

JOJENI INVESTMENTS PTY LTD
WOODLANDS ESTATE
OCEAN DRIVE, LAKEWOOD

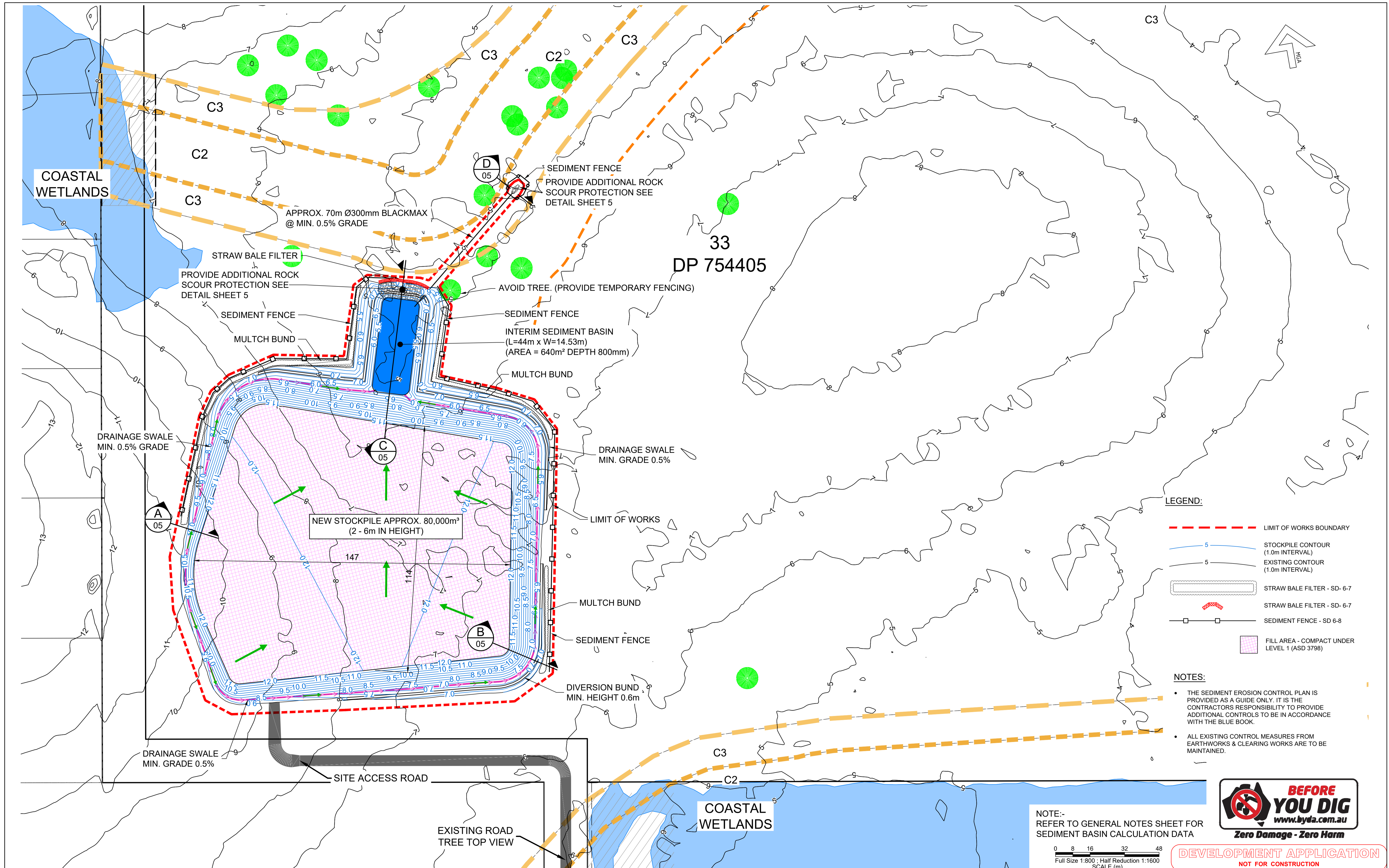


Hopkins Consultants Pty Ltd ABN 27 055 060 878 PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au W: www.hopkinsconsultants.com.au

WOODLANDS NTH EARTHWORKS STOCKPILE DA
ZONE INFORMATION, WETLANDS OFFSETS
& EXTENT OF WORKS PLAN

DRAWING NUMBER/REFERENCE		REV.
6849-073-03		
DESIGNER	ORIGIN OF LEVELS	A
DG	SSM16721	
SURVEYOR	HEIGHT	A1
GG	RL 20.923	
DRAFTING	DATUM/GDA	A1
GA	AHD/2020	
APPROVED	SCALE	
DG	AS SHOWN	

Cad File: S:\Projects\6849-2 Woodlands NTH\DWGS\PLANNING\6849-073.dwg, Layout: DA03, Plotted By: David, Date: 15/08/25 - 10:57.

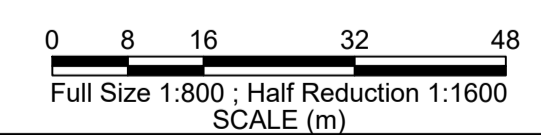


- LEGEND:**
- - - - - LIMIT OF WORKS BOUNDARY
 - STOCKPILE CONTOUR (1.0m INTERVAL)
 - EXISTING CONTOUR (1.0m INTERVAL)
 - STRAW BALE FILTER - SD- 6-7
 - STRAW BALE FILTER - SD- 6-7
 - SEDIMENT FENCE - SD 6-8
 - FILL AREA - COMPACT UNDER LEVEL 1 (ASD 3798)

- NOTES:**
- THE SEDIMENT EROSION CONTROL PLAN IS PROVIDED AS A GUIDE ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE ADDITIONAL CONTROLS TO BE IN ACCORDANCE WITH THE BLUE BOOK.
 - ALL EXISTING CONTROL MEASURES FROM EARTHWORKS & CLEARING WORKS ARE TO BE MAINTAINED.



NOTE:- REFER TO GENERAL NOTES SHEET FOR SEDIMENT BASIN CALCULATION DATA



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

Liability limited by a scheme approved under Professional Standards Legislation

No.	DATE	REVISIONS	BY
A	15/08/2025	ISSUED FOR DA APPLICATION	GA

JOJENI INVESTMENTS PTY LTD
WOODLANDS ESTATE
OCEAN DRIVE, LAKEWOOD



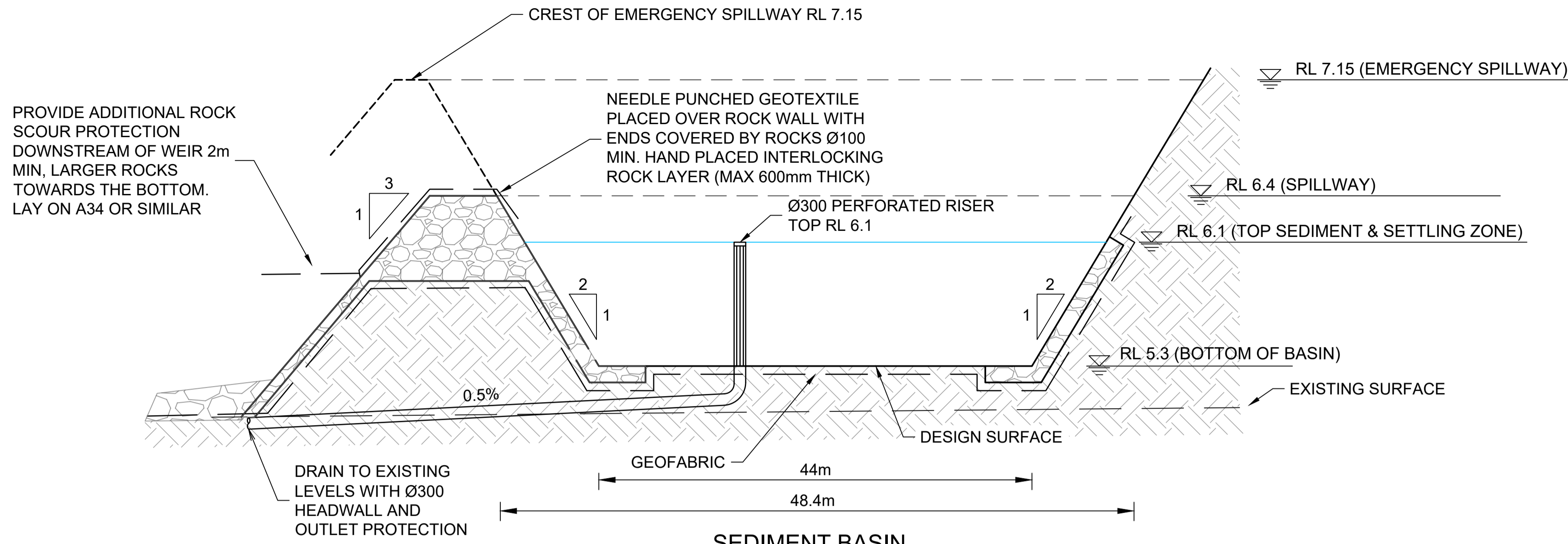
Hopkins Consultants Pty Ltd ABN 27 055 060 878 PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au W: www.hopkinsconsultants.com.au

WOODLANDS NTH EARTHWORKS STOCKPILE DA

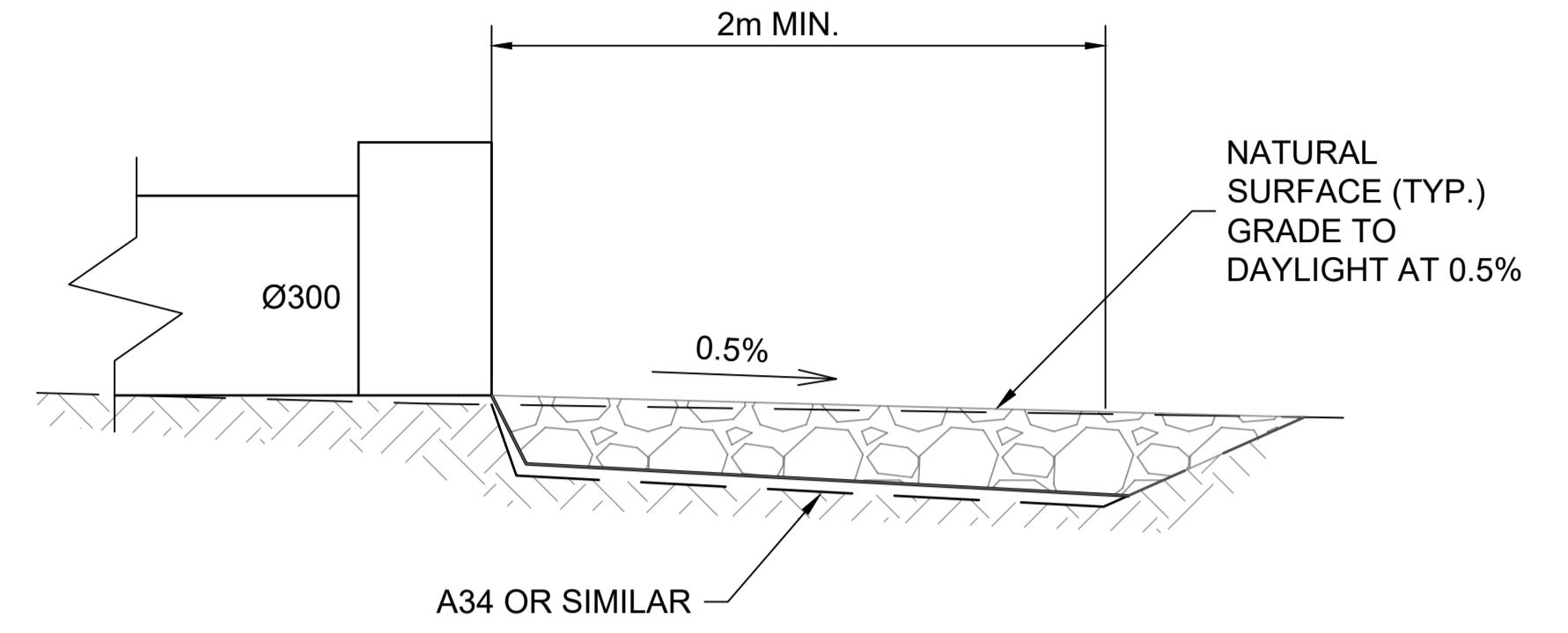
**STOCKPILE & BASIN DETAIL PLAN &
EROSION AND SEDIMENT CONTROL PLAN**

DRAWING NUMBER/REFERENCE		REV.
DESIGNER	ORIGIN OF LEVELS	A
DG	SSM16721	
SURVEYOR	HEIGHT	A1
GG	RL 20.923	
DRAFTING	DATUM/GDA	A1
GA	AHD/2020	
APPROVED	SCALE	A1
DG	AS SHOWN	

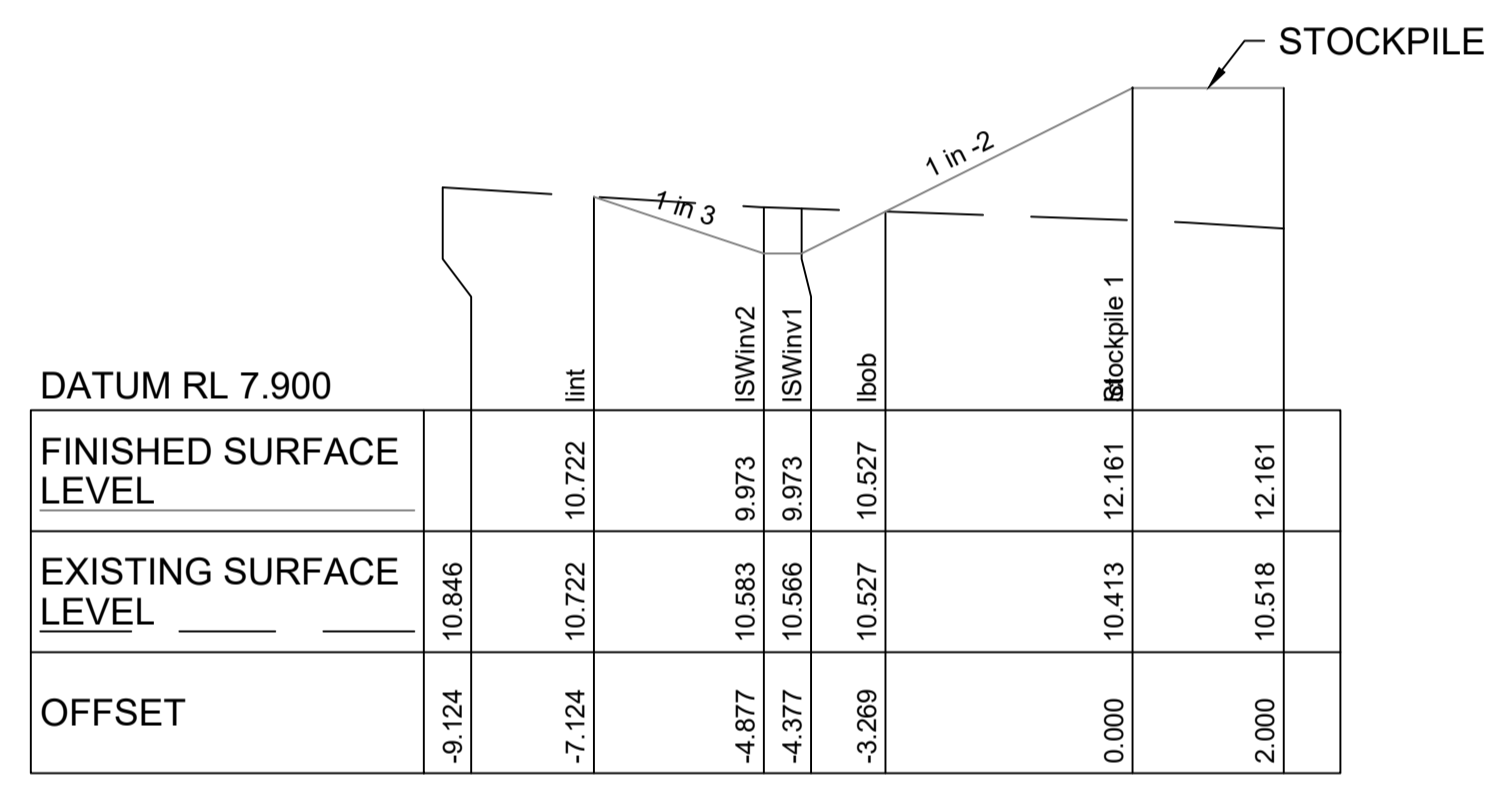
Cad File: S:\Projects\6849-2 Woodlands NTH\DWGS\PLANNING\6849-073.dwg, Layout: DA04, Plotted By: David, Date: 15/08/25 - 10:58



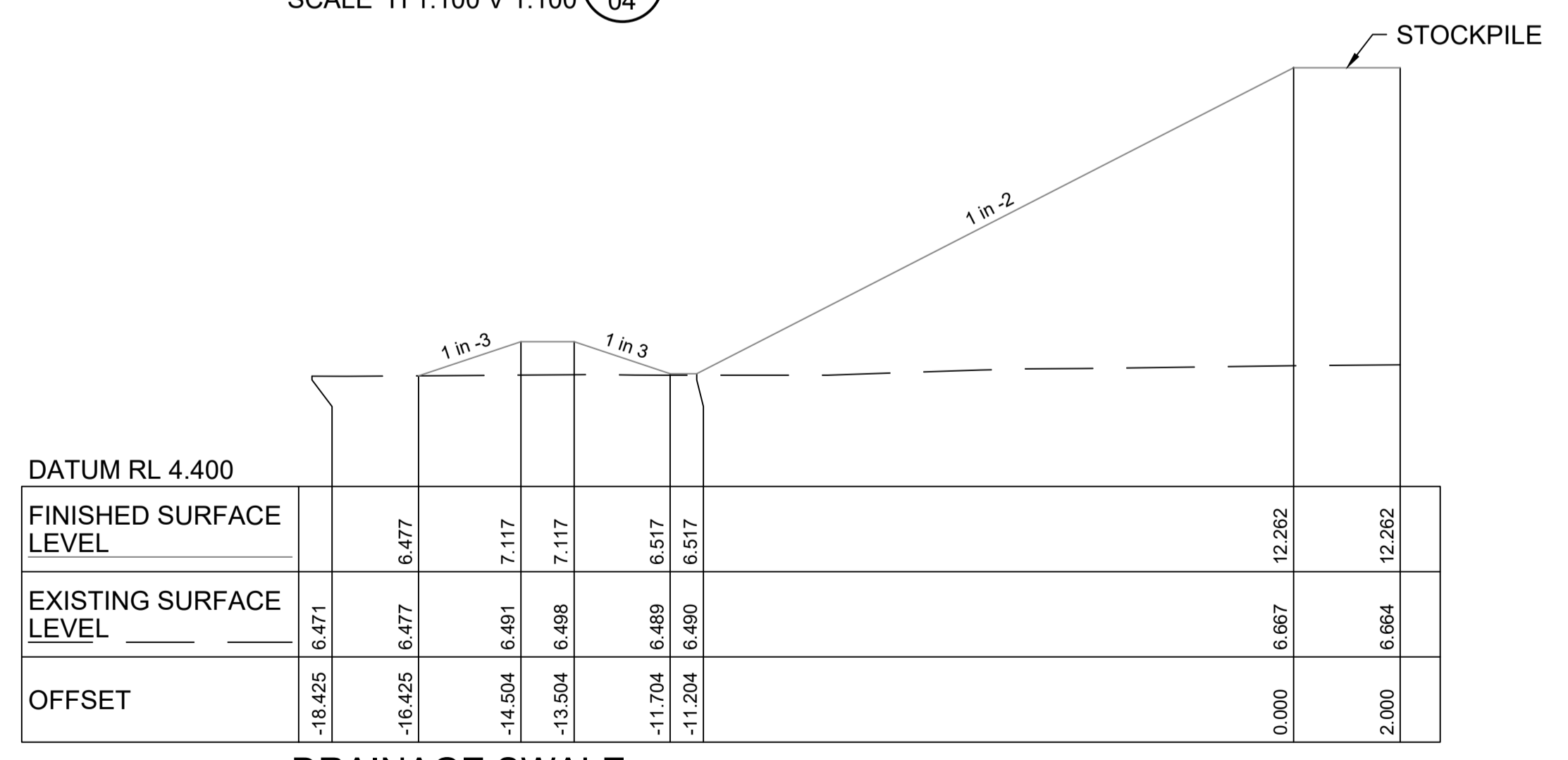
SEDIMENT BASIN
SECTION C
SCALE NTS 04



HEADWALL OUTLET
SECTION E
SCALE NTS



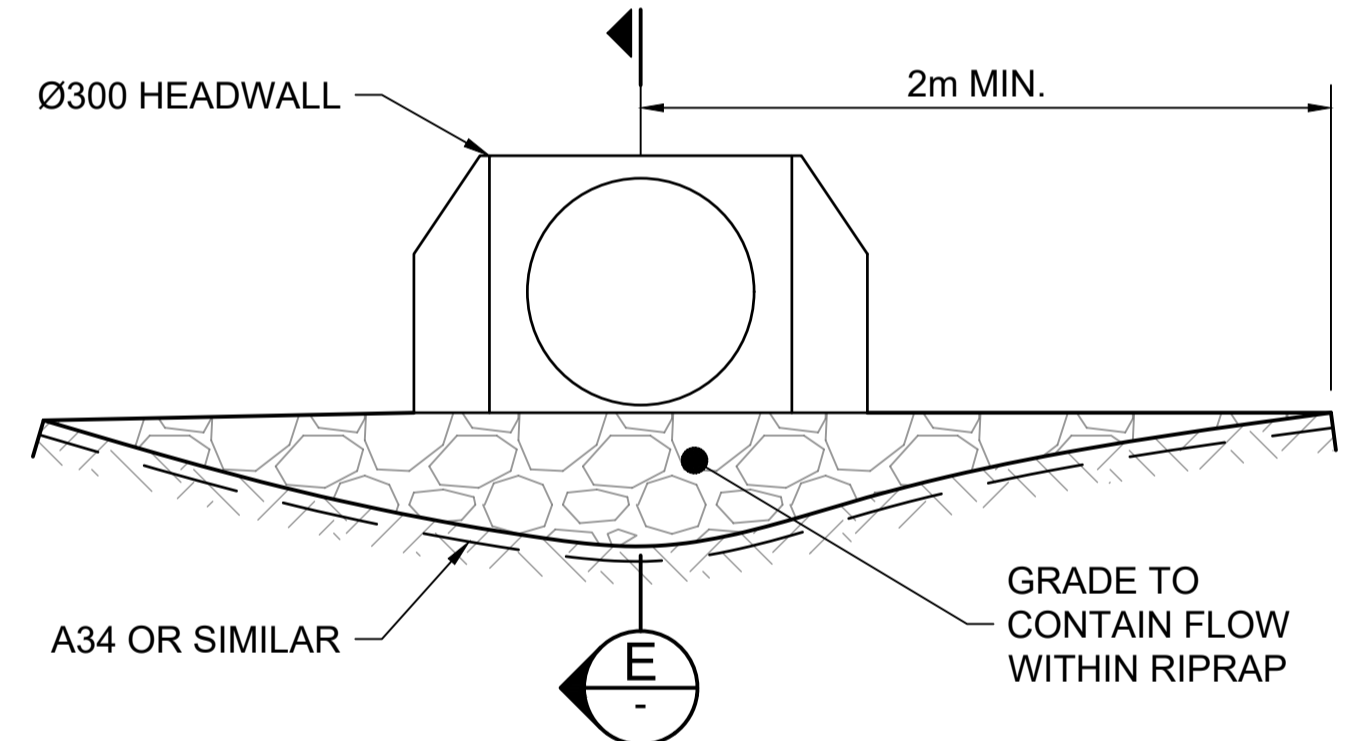
DRAINAGE SWALE
SECTION A
SCALE H 1:100 V 1:100 04



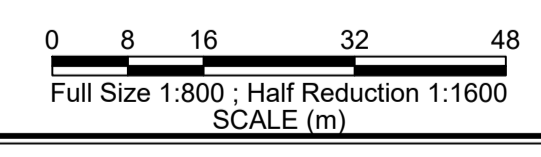
DRAINAGE SWALE
SECTION B
SCALE H 1:100 V 1:100 04

	10.846	10.722	10.583	10.566	10.527	10.527	12.161	12.161
DATUM RL 7.900		int	ISWInv2	ISWInv1	lobb		Stockpile 1	
FINISHED SURFACE LEVEL		10.722	9.973	9.973	10.527		12.161	12.161
EXISTING SURFACE LEVEL	10.846	10.722	10.583	10.566	10.527		10.413	10.518
OFFSET	-9.124	-7.124	-4.877	-4.377	-3.269		0.000	2.000

	6.471	6.477	6.481	6.498	6.489	6.517	6.517	12.262	12.262
DATUM RL 4.400								Stockpile	
FINISHED SURFACE LEVEL		6.477	7.117	7.117	6.517			12.262	12.262
EXISTING SURFACE LEVEL	6.471	6.477	6.481	6.498	6.489	6.517		6.667	6.664
OFFSET	-18.425	-16.425	-14.504	-13.504	-11.704	-11.204		0.000	2.000



HEADWALL OUTLET
SECTION D
SCALE NTS 04



DEVELOPMENT APPLICATION
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
A	15/08/2025	ISSUED FOR DA APPLICATION	GA

JOJENI INVESTMENTS PTY LTD
WOODLANDS ESTATE
OCEAN DRIVE, LAKEWOOD

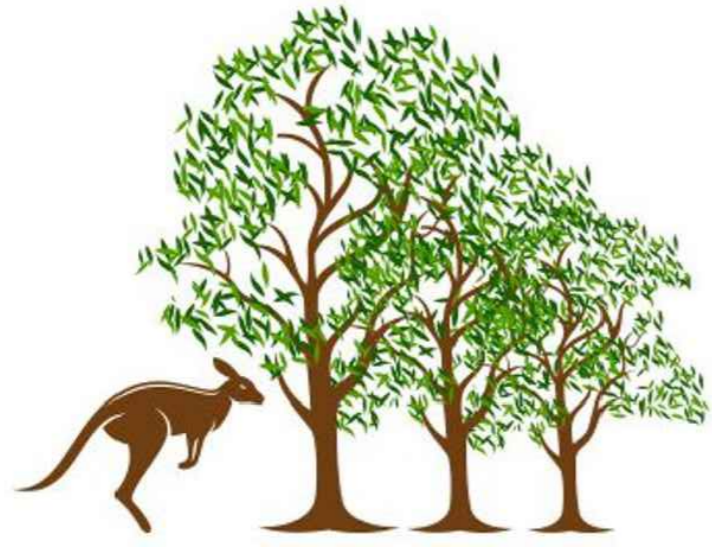


Hopkins Consultants Pty Ltd ABN 27 055 060 878 PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 6722 E: admin@hopcon.com.au W: www.hopkinsconsultants.com.au

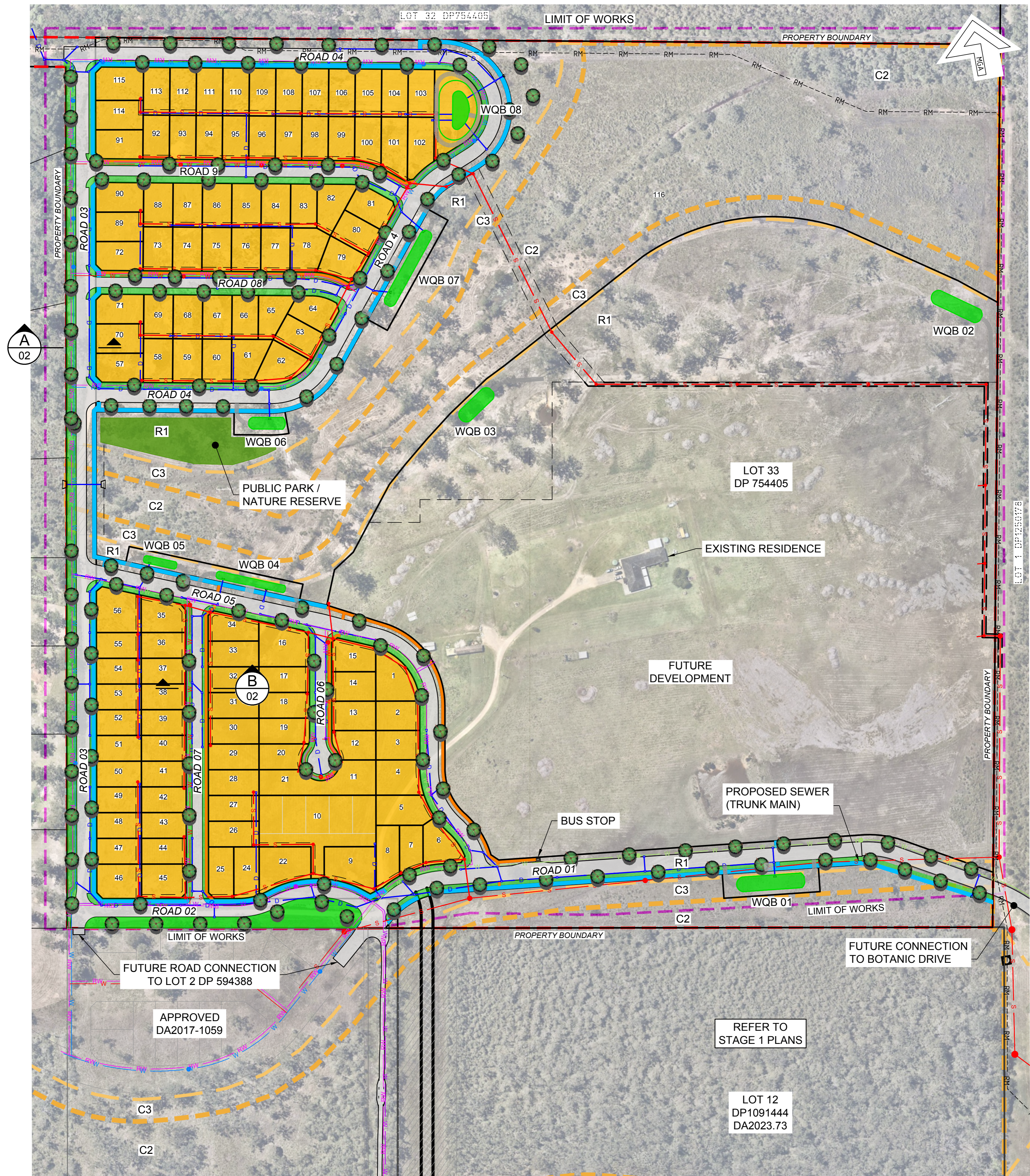
WOODLANDS NTH EARTHWORKS STOCKPILE DA
SEDIMENT BASIN & OUTLET DETAILS & STOCKPILE BATTER SECTIONS

DRAWING NUMBER/REFERENCE		REV.
DESIGNER	ORIGIN OF LEVELS	A
DG	SSM16721	
SURVEYOR	HEIGHT	
GG	RL 20.923	
DRAFTING	DATUM/GDA	SHEET SIZE
GA	AHD/2020	A1
APPROVED	SCALE	
DG	AS SHOWN	

LANDSCAPE PRINCIPLES PLAN STAGES 1-4



WOODLANDS NORTH ESTATE KEW



LEGEND

- PUBLIC STREET TREES
- 1.5m WIDE CONCRETE PATH
- 2.5m WIDE CONCRETE SHAREWAY
- ROAD VERGE TREATMENTS
- PUBLIC PARK / NATURE RESERVE
- PROPOSED WATERMAIN
- PROPOSED STORMWATER DRAINAGE
- PROPOSED SEWER & MANHOLE
- C3 ZONE BOUNDARY
- C2 ZONE BOUNDARY

INDICATIVE PLANT LIST

PUBLIC STREET TREES

- *Cupaniopsis anacardioides* (Tuckeroo)
- *Elaeocarpus reticulatus* (Blueberry Ash)
- *Tristanopsis laurina* (Water Gum)

REFER EXTANT ENVIRONMENTAL APPROVALS FOR PROPOSED WORKS IN C3 AND C2 ZONES

PRELIMINARY ISSUE
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
F	01/06/2026	TYPICAL SECTIONS AMENDED	WS
E	28/05/2026	SHEET 02 PLANTING DETAILS ADDED	WS
D	24/10/2025	FOOTPATH ALIGNMENTS REVISED	WS
C	29/09/2025	AMENDED LAYOUT	GA
B	19/02/2025	DA APPROVAL	GA
A	05/09/2023	ISSUED FOR COMMENT	ST

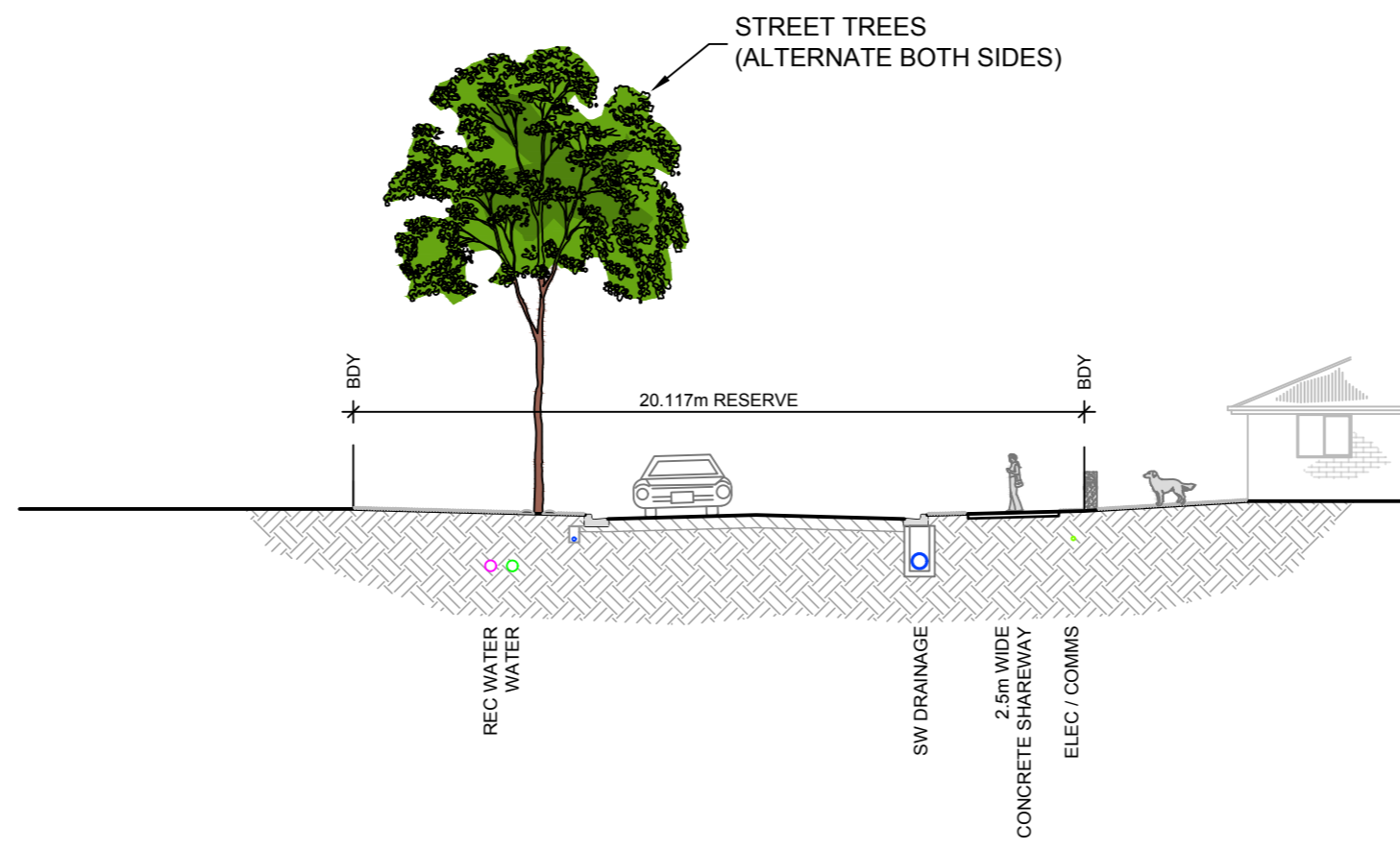
Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS

Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 8722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

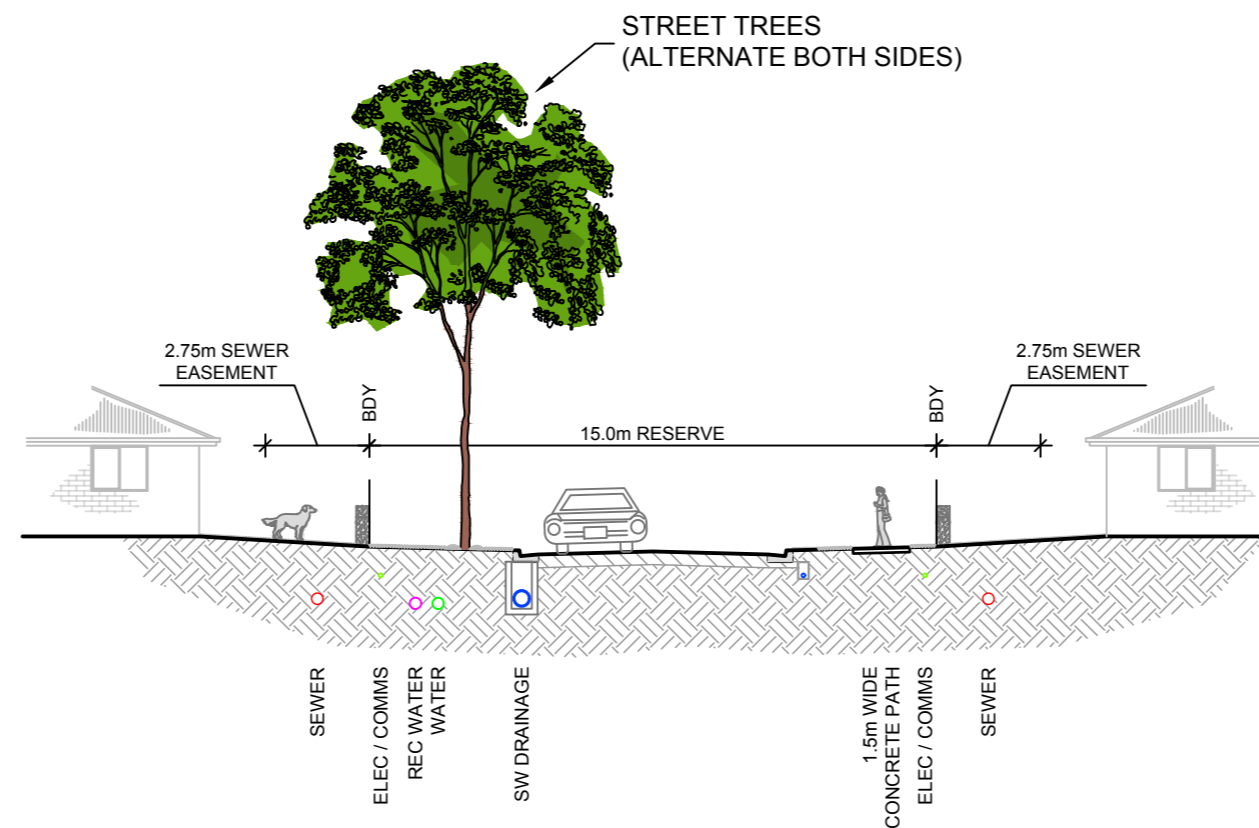
© Hopkins Consultants Pty Ltd
JOJENI INVESTMENTS
WOODLANDS NORTH ESTATE
OCEAN DR, KEW
LOT 33 DP 754405

WOODLANDS NORTH SUBDIVISION
LANDSCAPE, STREET TREES AND
FOOTPATH PRINCIPLES PLAN
STAGES 1-4

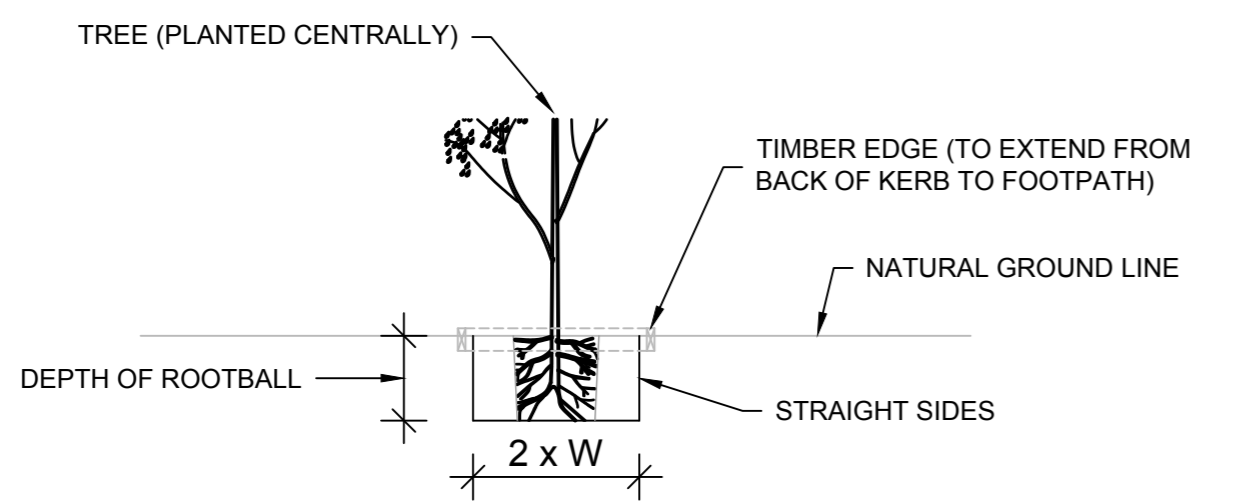
DRAWING NUMBER/REFERENCE		REV.
6849-L002-01		F
DESIGNER	ORIGIN OF LEVELS	DATE
ST	-	05/09/2023
SURVEYOR	HEIGHT	SHEET SIZE
GG	-	A1
DRAFTING	DATUM	SHEET NO.
ST	AHD	1
APPROVED	SCALE	TOTAL
MM	AS SHOWN @ A1	2



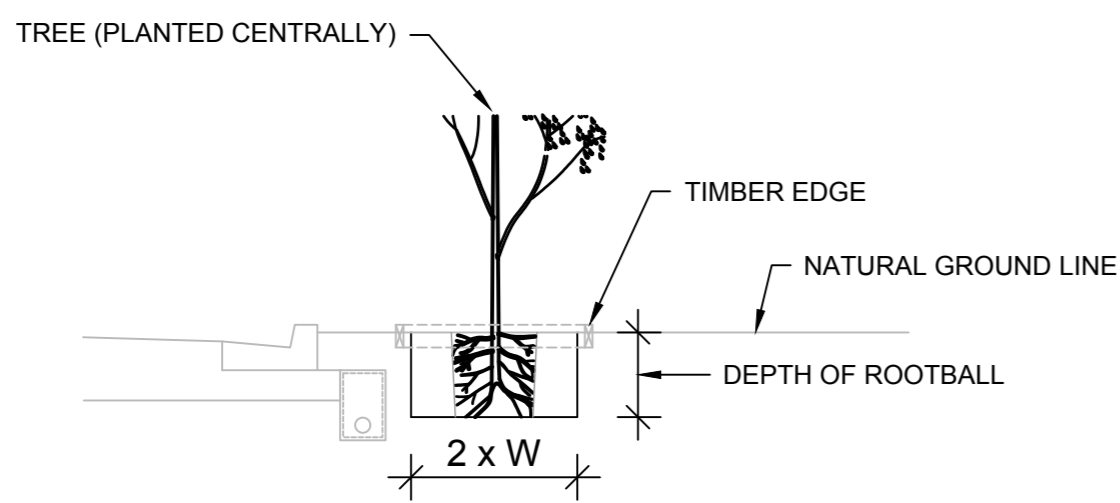
TYPICAL CROSS SECTION A SCALE 1:200
COLLECTOR ROADS (20m)



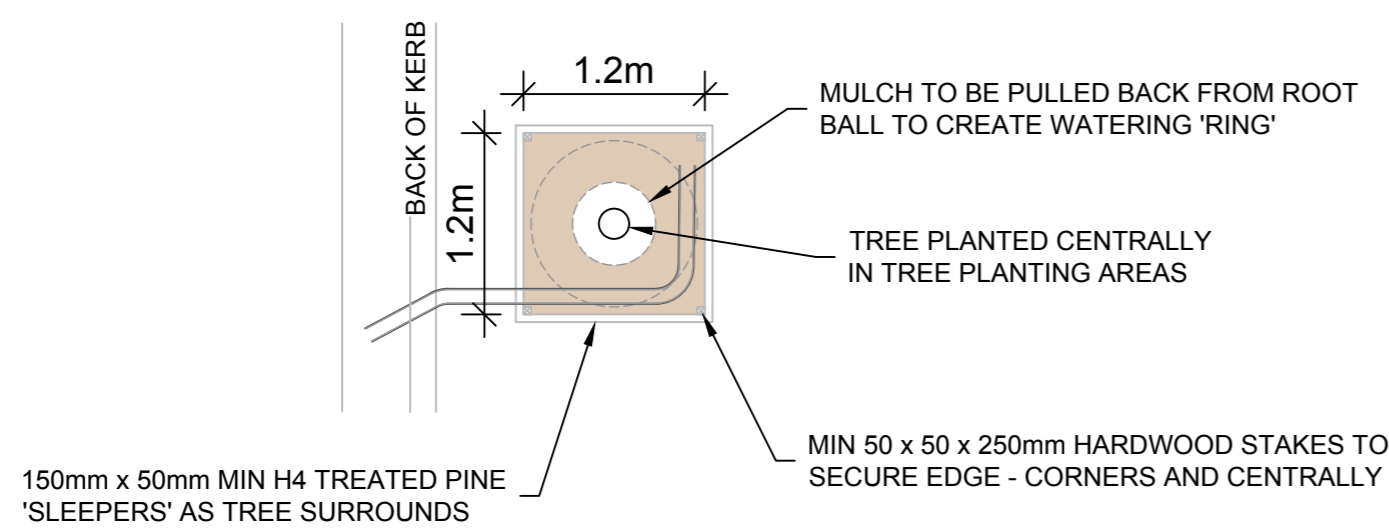
TYPICAL CROSS SECTION B SCALE 1:200
INTERNAL ROADS (16-15m)



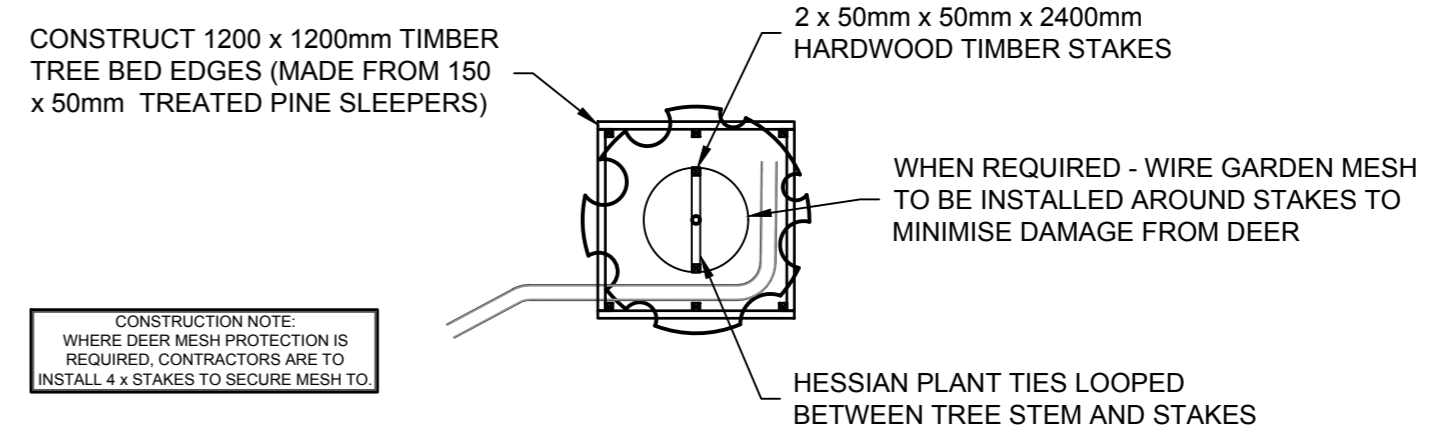
TREE PLANTING EXCAVATION SCALE 1:50
LONG SECTION - NO FOOTPATHS



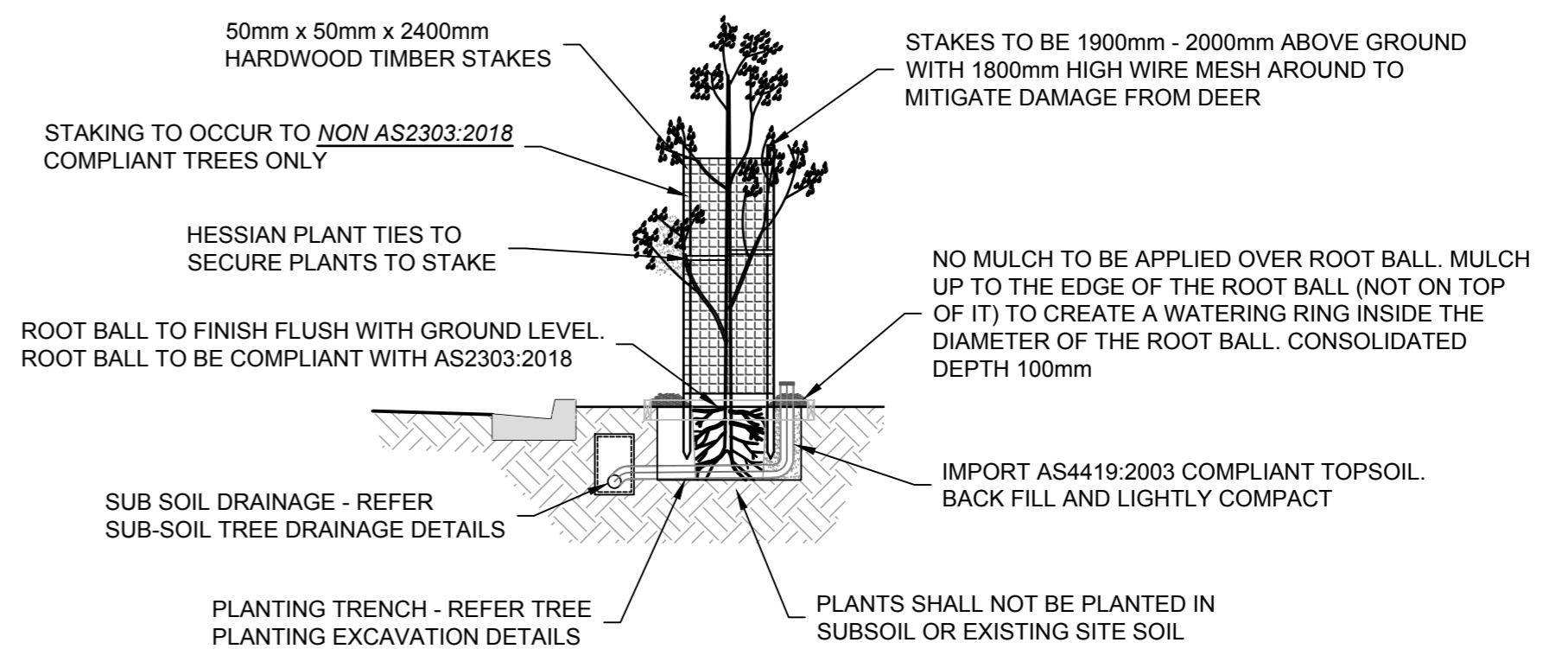
TREE PLANTING EXCAVATION SCALE 1:50
CROSS SECTION - NO FOOTPATHS



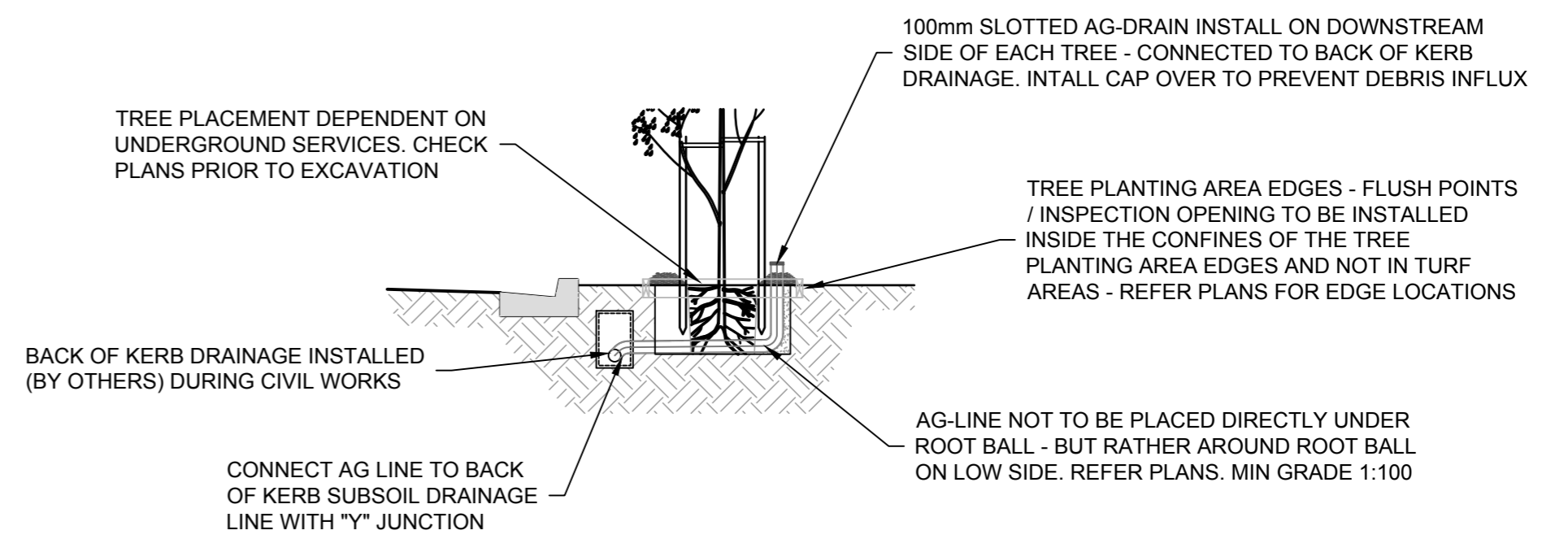
MULCH BED DETAILS SCALE 1:50
PLAN - NO FOOTPATHS



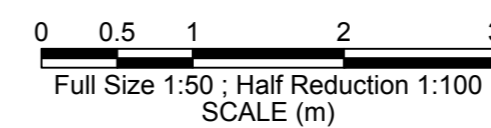
TREE PLANTING DETAILS SCALE 1:50
PLAN - NO FOOTPATHS



TREE PLANTING DETAILS SCALE 1:50
SECTION - NO FOOTPATHS



TREE PLANTING DETAILS - SUBSOIL DRAINAGE SCALE 1:50
SECTION - NO FOOTPATHS



PRELIMINARY ISSUE
NOT FOR CONSTRUCTION

No.	DATE	REVISIONS	BY
F	01/06/2026	TYPICAL SECTIONS AMENDED	WS
E	28/05/2026	SHEET 02 PLANTING DETAILS ADDED	WS
D	24/10/2025	FOOTPATH ALIGNMENTS REVISED	WS
C	29/09/2025	AMENDED LAYOUT	GA
B	19/02/2025	DA APPROVAL	GA
A	05/09/2023	ISSUED FOR COMMENT	ST

Hopkins
SURVEYORS | CIVIL ENGINEERS | PLANNERS
Hopkins Consultants Pty Ltd ABN 27 055 060 878
PO Box 1556 Port Macquarie NSW 2444
T: 02 6583 8722 E: admin@hopcon.com.au
W: www.hopkinsconsultants.com.au

JOJENI INVESTMENTS
WOODLANDS NORTH ESTATE
OCEAN DR, KEW
LOT 33 DP 754405

WOODLANDS NORTH SUBDIVISION
TYPICAL LANDSCAPE
PLANTING DETAILS
STAGES 1-4

DRAWING NUMBER/REFERENCE		REV.
6849-L002-02		F
DESIGNER	ORIGIN OF LEVELS	DATE
ST	-	05/09/2023
SURVEYOR	HEIGHT	SHEET SIZE
GG	-	A1
DRAFTING	DATUM	SHEET NO.
ST	AHD	2
APPROVED	SCALE	TOTAL
MM	AS SHOWN @ A1	2